



Turning Vision into Code: Holland's Unified Development Ordinance

Michigan Municipal Executives Conference

July 21, 2022

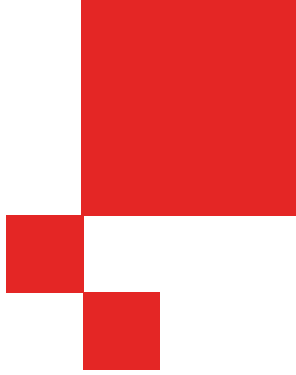
Mark Vanderploeg

- Director of Community and Neighborhood Services, **Holland MI**
- 27 years with Holland (Director and Senior Planner positions)
- Bachelor of Science, Public History, **Western Michigan University**
- Master of Urban and Regional Planning, **Virginia Tech**
- Resident **City of Holland**
- Married with two children



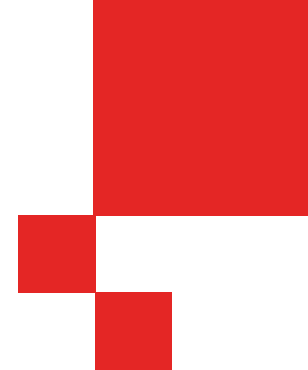
Chris Khorey

- West Michigan Manager, **McKenna**
- 12 years with McKenna
- Bachelor of Arts, History, **University of Notre Dame**
- Master of Urban and Regional Planning, **University of Pennsylvania**
- Resident **City of East Grand Rapids**
- Married with one child and one on the way



Agenda

- **The Setup:** Preparing for Ordinance updates using the Master Plan.
- **The Project:** What is a Unified Development Ordinance?
- **The Process:** That pathway – and detours – to earning buy-in and consensus.
- **The Outcome:** Holland's innovative zoning and regulatory structure.





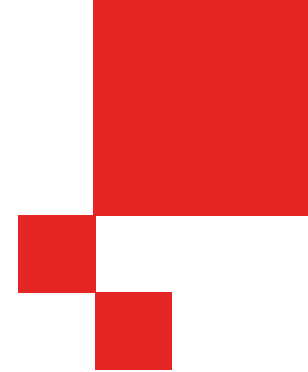
The Setup



City of Holland Master Plan

Adopted by the City Council
March 15, 2017

Five Year Review Completed
November 9, 2021



CHAPTER 1. INTRODUCTION

The City of Holland Master Plan is the official policy guide for Holland's future development and growth. The Master Plan summarizes the community's vision for the City, highlights goals and objectives based on an analysis of strengths and weaknesses and provides the framework and basis for sound community development and land use decisionmaking. Overall, the City of Holland Master Plan establishes clear direction and expectations for the City and meets the requirements established by the Michigan Planning Enabling Act of 2008.

Purposes and Uses of the Master Plan

- Identifies existing conditions and characteristics, community values, issues, and opportunities.
- Guides property owners, developers, neighboring jurisdictions, and county and state entities with expectations and standards for public investment and future development.
- Supports the allocation and spending of funds.
- Establishes the basis for the zoning ordinance, capital improvements, land use policies, and other implementation tools and programs.
- Provides the framework for planning and land use policy decisions made by City Council, the Planning Commission, and City staff.
- Offers a foundation for creative problem solving and adapting to change – in other words, building a resilient community.
- Builds partnerships between residents, community stakeholder groups, non-profit organizations, neighboring communities, and county and regional entities to participate in implementing the plan.

The Master Plan is a flexible document that guides development within the City, but provides capacity to adapt to changing conditions and innovation. The Master Plan describes where new development should be directed and also identifies existing conditions, goals, and best management practices for a number of focus areas including the local economy, natural and cultural resources, transportation networks, recreational amenities, health and

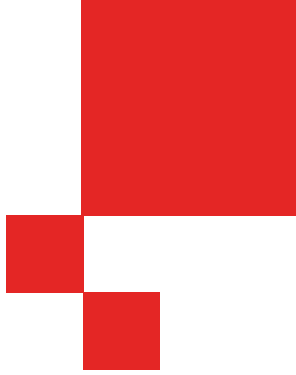
social services, neighborhoods, urban design standards, and local food.

The City of Holland Master Plan was developed with engaging and comprehensive public input. This engagement process, along with conversations with City staff and Planning Commission members, resulted in several guiding principles for the future of Holland.

The guiding principles underlying each chapter of the Master Plan are summarized in a single sentence: *Inviting all to enjoy a thriving and resilient Holland.* By looking at the future with the goal of resiliency, the whole community is working together to foster unique Holland experiences in dynamic, vibrant places.



Children playing in Kollen Park, 2011.



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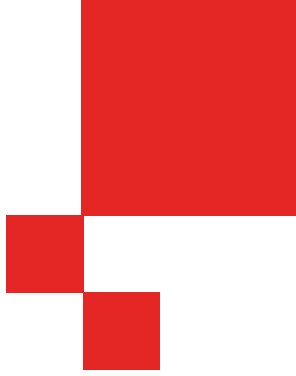


GOAL

The City of Holland's housing stock will be energy efficient, well-maintained, and include various designs.

POTENTIAL ACTION STEPS

- Identify desired housing types and densities for different neighborhood areas and ensure that the Zoning Ordinance supports their development.
- Promote higher-density development that is well-designed and amenity-rich along with a mix of housing unit types in redevelopment and infill development projects adjacent to and in Downtown and on major thoroughfares.
- Promote and support the renovation, rehabilitation and increased energy efficiency of existing housing stock throughout the City.
- Pursue the creation and funding of programs that provide for the maintenance and rehabilitation of our housing stock, including the City's Home Repair Program and the City's Home Energy Retrofit Program.
- Work with nearby jurisdictions to identify the regional need for affordable housing and devise strategies to provide affordable housing throughout the region.
- Work to promote the design and construction of affordable housing that changes perceptions of its quality and makes it a desirable element of the community.
- Promote housing diversity to accommodate different household sizes, income levels, housing types, and density.
- Encourage owner occupied housing; occupancy or ownership by transient, disrespectful, or non-investing individuals is discouraged.

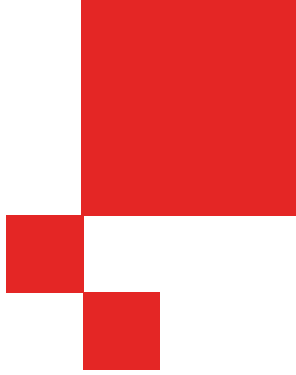


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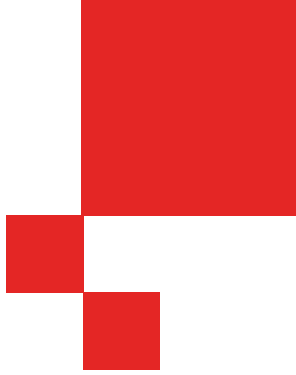


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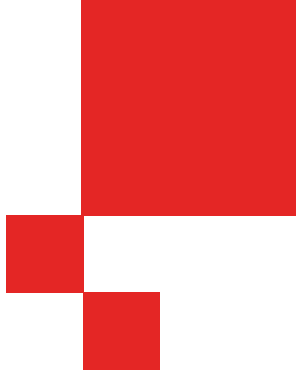


GOAL

The City of Holland's neighborhoods will be aesthetically pleasing, tree-lined, walkable, and mixed-use with recognizable development patterns.

POTENTIAL ACTION STEPS

- Identify development districts within the City and promote design standards to reinforce desired development patterns and character in these districts.
- Identify desired street design characteristics for different development districts within the City, focusing on complete street concepts and pedestrian connections.
- Continue to engage the community to determine which physical forms and development patterns are desired.
- Increase development densities and building heights along arterial corridors where appropriate.
- Promote Transit Oriented Design standards along major thoroughfares and arterial routes.
- Preserve the existing architectural aesthetic of 8th Street Downtown.
- Explore the feasibility of and desire for a form-based zoning code for parts of, or all, of the City.
- Ensure that lighting in public spaces, including street lighting is appropriately designed to limit its impact on nearby residences and reduce light pollution while providing safe levels of lighting.

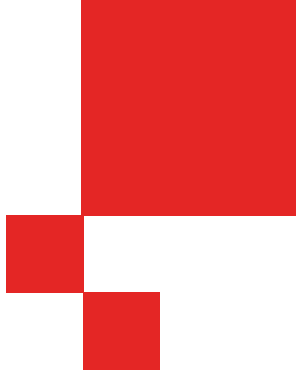


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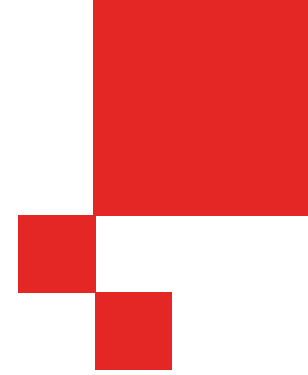
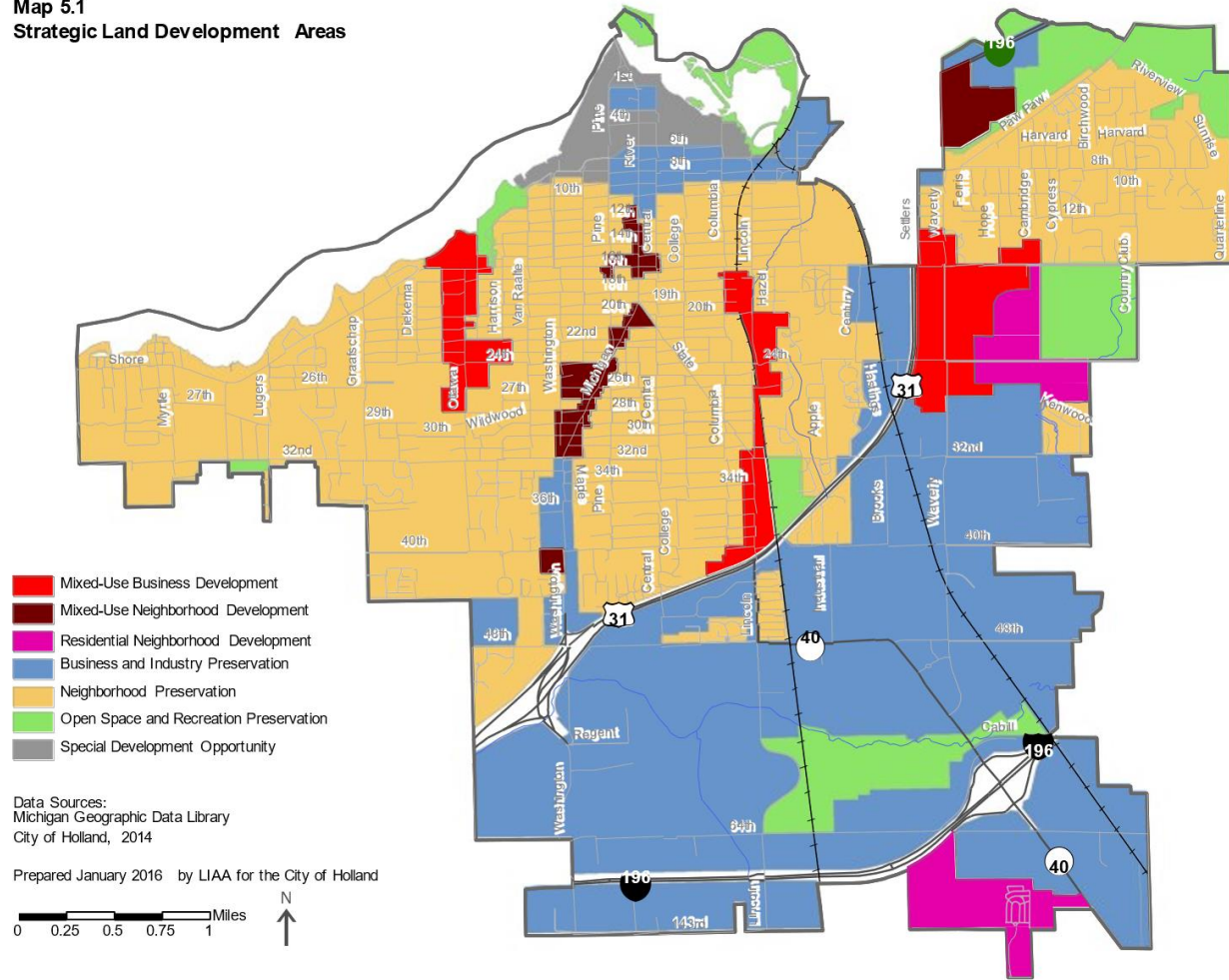
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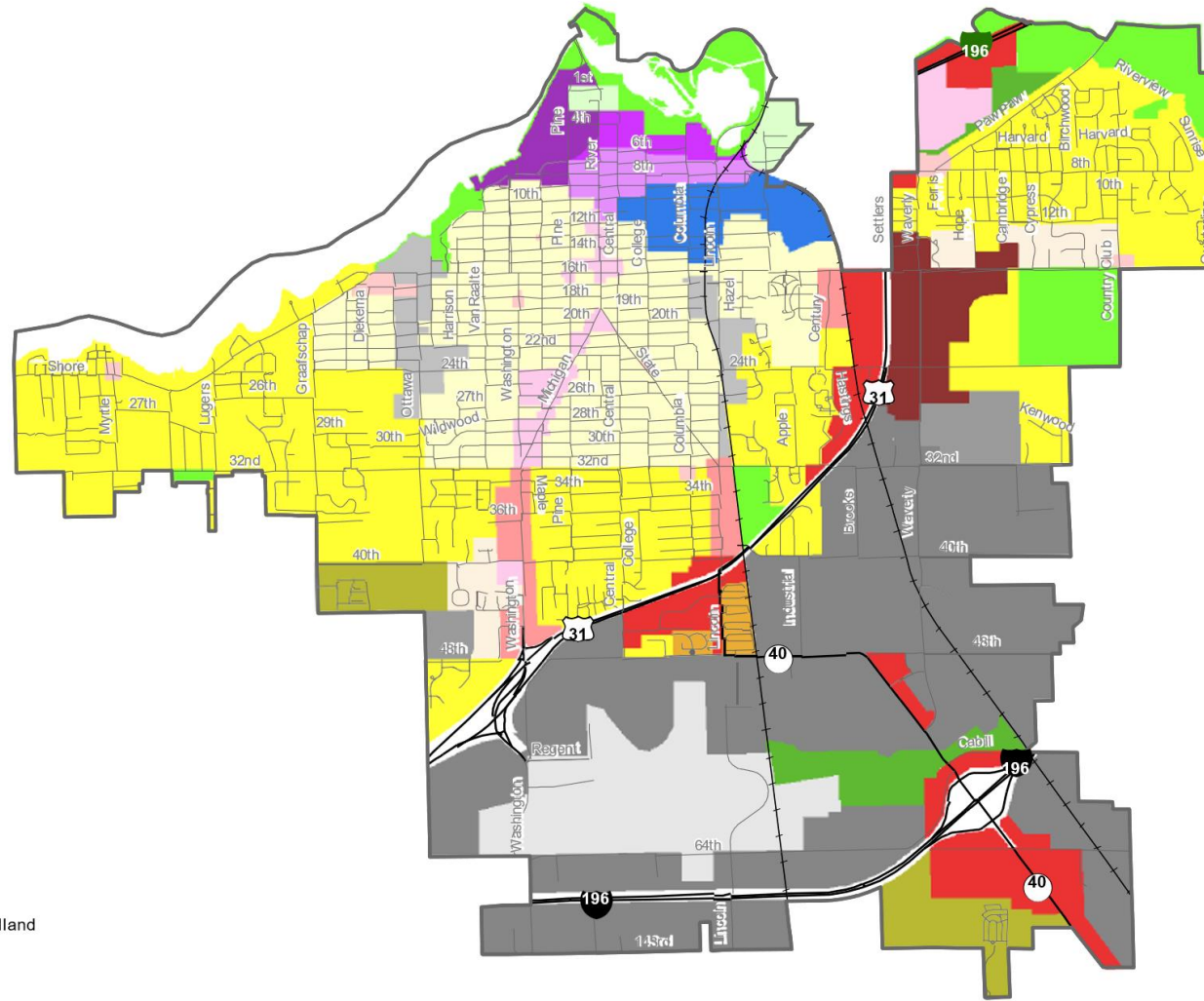


Map 5.1
Strategic Land Development Areas

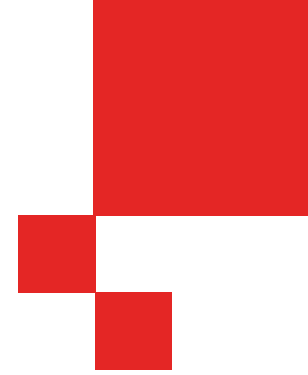
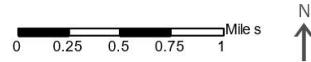


**Map 5.2
Future Land Use**

- Airport Business District
- Business Development Area
- Research and Development
- Industrial
- Neighborhood Commercial
- Arterial Commercial
- Highway Commercial
- Marketplace Commercial
- Mixed-Use Village
- Central Downtown
- Northern Downtown
- Waterfront Downtown
- Urban Residential
- Suburban Residential
- Neo-Traditional Residential
- Apartment Residential
- Mobile Home Residential
- Essential Service Area
- Regional Park
- Environmentally Sensitive Areas
- College Campus District



Data Sources:
Michigan Geographic Data Library
City of Holland
Prepared January 2016 by LIAA for the City of Holland



Zoning Plan

According to Section 2(d) of the Michigan Planning Enabling Act (Public Act 33 of 2008), a Master Plan must include a Zoning Plan that depicts the various zoning districts and their use, as well as standards for height, bulk, location, and use of buildings and premises. The Zoning Plan serves as the basis for the Zoning Ordinance.

RELATIONSHIP TO THE MASTER PLAN

The Master Plan describes the City's vision, goals, and objectives for future land use and design standards in Holland. As a key component of the Master Plan, the Zoning Plan is based on the recommendations of the Master Plan and is intended to identify areas where existing zoning is inconsistent with the objectives and strategies of the Master Plan. The Zoning Ordinance is the primary implementation tool for the future development of Holland. The Zoning Ordinance contains written regulations and standards that define how properties in specific geographic zones can be used and how they can look. The Zoning Plan is designed to guide the development of the Zoning Ordinance, based on the recommendations of the Master Plan.

CURRENT ZONING DISTRICTS

The Michigan Planning Enabling Act requires the Zoning Plan to inventory existing zoning districts. The following section summarizes the existing zoning districts in the City of Holland Zoning Ordinance. Table 5.1 provides an overview of several key building standards for new development in each zoning district. This section is only meant to provide an overview of the City's zoning districts and standards. In order to review zoning definitions, standards, and regulations in full detail, please see the full City of Holland Zoning Ordinance.

RESIDENTIAL DISTRICTS

The City has seven residential zoning districts, designed to provide a variety of housing types.

- **R-1 One-Family Residential District** - This district is intended to accommodate single-family residential uses, along with churches, schools, and other public uses.
- **R-2 One- and Two-Family Residential District** - This district is intended to accommodate two-family dwellings.
- **R-3 Residential District** - This district is intended to accommodate specific multi-family dwellings.
- **R-4 Mobile Home Development and Residential District** - This district is intended to accommodate mobile home developments.
- **R-5 Apartment District** - This district is intended to accommodate intensive residential uses and certain office uses.
- **R-6 Central Apartment District** - This district is intended to accommodate more intensive residential uses and certain office uses.
- **R-TRN Traditional Residential Neighborhood District** - This district provides for urban residential character in the central areas of the City.
- **PRD Planned Residential Development District** - This district allows for flexibility in residential development close to industrial or commercial districts. The district intends to encourage a variety of housing types including, but not limited to, condominiums, apartments, townhomes, and duplexes.



INDUSTRIAL DISTRICTS

The City has two industrial districts, designed to meet the needs of established and prospective industries.

- **I-1 Industrial District** - This district accommodates uses including, but not limited to, manufacturing, fabrication, assembly and similar operations, material storage and supply, construction trades, automotive services, and commercial uses.
- **I-2 Industrial District** - This district accommodates industrial uses including those appropriately suited to an industrial park, including, but not limited to manufacturing, research and development, storage or warehousing, processing or packaging, auto repair, and municipal services.

COMMERCIAL DISTRICTS

The City has five commercial districts, designed to provide for a variety of retail and commercial uses in the City.

- **C-1 Neighborhood Commercial District** - This district is intended to accommodate retail and commercial uses within particular residential neighborhoods. Permitted uses in this district include, but are not limited to, commercial sales, bakeries, banks, beauty shops, dry cleaners, office, retail, and music and dance studios.
- **C-2 Highway Commercial District** - This district is intended to accommodate general commercial and warehousing needs in the community, including, but not limited to, auto sales, marinas, and wholesale businesses.
- **C-3 Central Business District** - This district is intended to facilitate the mixed-use, pedestrian-friendly environment that is necessary for a viable downtown. The district accommodates a wide variety of uses including residential, government, retail, and entertainment.
- **C-4 Regional Shopping Center District** - This district is intended to accommodate the retail shopping and merchandising needs of the general community, with uses including stores, restaurants, gasoline and auto stores, and movie theaters.
- **C-5 Professional Office Service District** - This district is intended to accommodate a variety of office uses and also allows for residential and institutional uses. This district also is intended to locate office uses in proximity to highways and other major arterial streets, and to encourage office uses as a transitional use and character between adjacent commercial and residential land uses.

OTHER ZONING DISTRICTS

The City has a number of zoning districts that are not strictly residential, commercial, or industrial. These include:

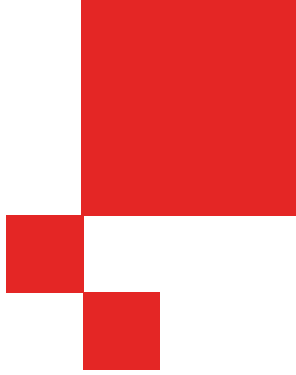


- **AG Agricultural District** - This district is intended to accommodate agricultural and large lot residential uses. Other uses in this district include, but are not limited to, parks, wildlife preserves, and community centers.
- **ED Education District** - This district was established to accommodate the needs of educational campuses.
- **PUD Planned Unit Development District** - This district is intended to provide a degree of flexibility for development not attainable in the other zoning districts while ensuring architecturally complementary designs, significant green space, and uses that are compatible with nearby residences and businesses. Permitted uses include, but are not limited to, condominiums, retail, restaurants, hotels, and financial institutions.
- **WIND Windmill Island Neighborhood Business District** - This district is intended to facilitate the implementation of the Windmill Island Development Master Plan. The Windmill Island Development Master Plan aims to create a pedestrian-oriented, mixed-use district on Windmill Island with provisions to emphasize public gathering spaces, environmental protections, and community culture and history.
- **M-40 Corridor/South End Overlay Zone District** - This overlay district applies special protective measures (in the form of additional development requirements) to guarantee a high-quality gateway entrance to the City and a high-quality mixed-use neighborhood in this District.
- **I-196 Overlay Zone District** - This overlay district is intended to provide landscape and screening adjacent to I-196.

OPPORTUNITIES FOR ZONING CHANGES

In order to remain consistent with the community's vision for the future of Holland as identified in this Master Plan, a number of zoning ordinance amendments may be necessary. The following list identifies several opportunities to amend the City's zoning ordinance to be consistent with the goals and vision set forth in this Master Plan.

- Create and then promote Transit Oriented Development standards along major thoroughfares and arterial corridors
- Re-write the Zoning Ordinance to be a form-based code for parts of, or all of the City
- Create ordinance language that will allow for "pop-up" retail and food trucks
- Reevaluate floodplain and localized flooding data to determine where changes in zoning or building standards might be necessary to reduce the risk of property and infrastructure damage
- Create a new OS Open Space zone district
- Create an Airport Business zone district and rezone airport lands to said new district
- Delete the R-6 Central Apartment zone district as there are no longer any properties with this zoning designation
- Delete the WIND Windmill Island Neighborhood Business zone district and rezone the Windmill Island area to the new OS Open Space zone district
- Reformulate the R-2 District to better accommodate single family attached housing developments along the arterial street fringes of existing neighborhoods
- Consider folding the R-5 District into a reformulated R-3 District to create a true apartment residential zone district
- Study existing R -2 zoned neighborhood areas to determine if they should be rezoned to the R-1 or R-TRN zone districts



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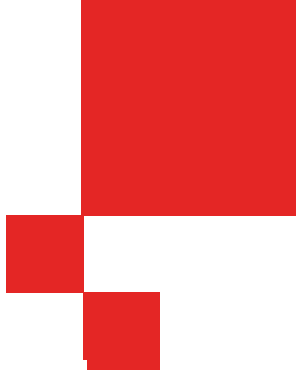
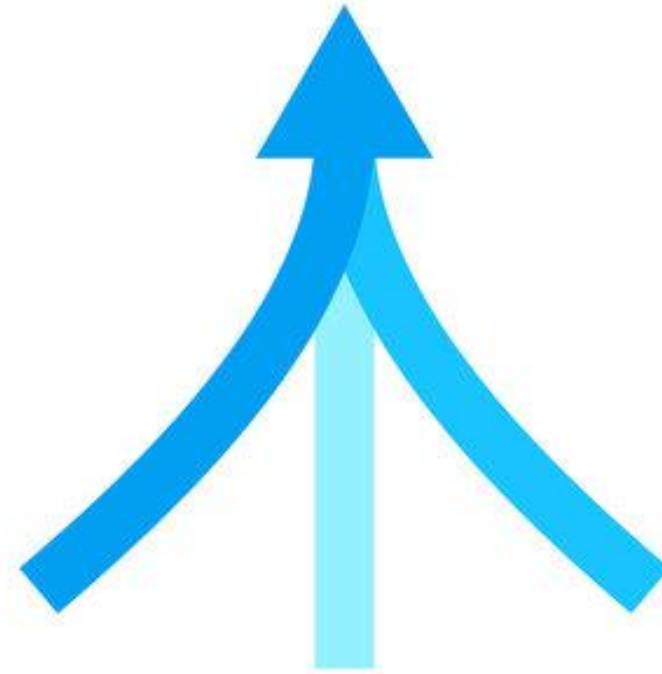
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The Project

What is a Unified Development Ordinance?

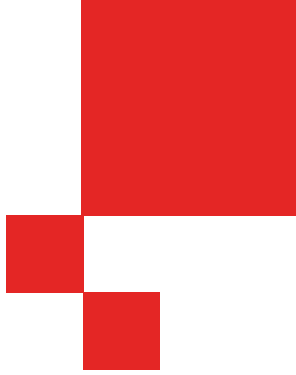
- “UDO”
- **Combines several City Ordinances** – most notably Zoning and Subdivisions



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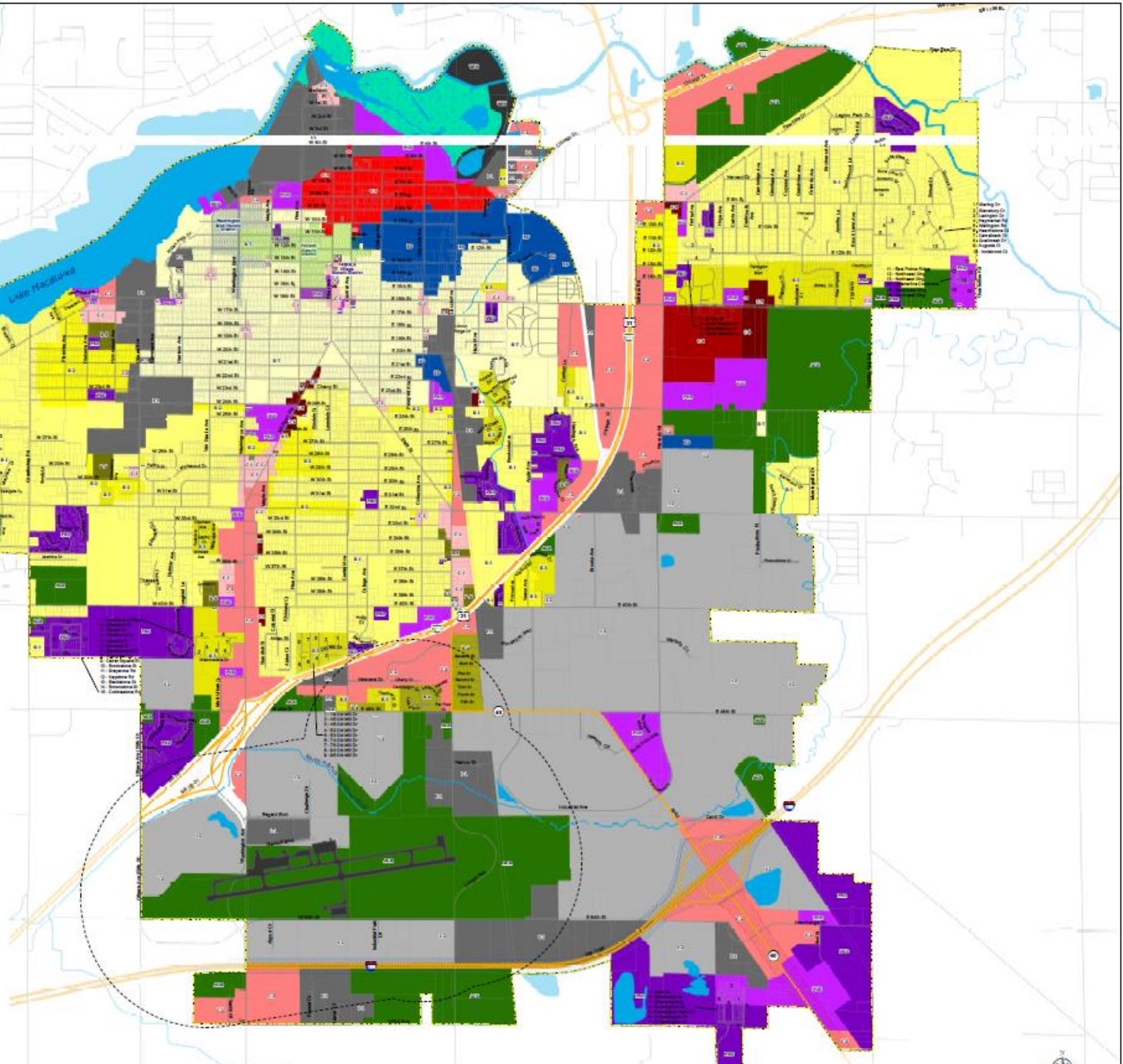
- The 2021 UDO was a **thorough update of Holland's zoning**
 - First full re-write since **1943**
 - Added Form Based Code, Airport Overlay, Street Design, and other new elements.
 - Completely new zoning map





THE ZONING MAP OF THE CITY OF HOLLAND

- City Limits
 - Holland Historic District
 - Keppe's Village Historic District
 - Washington Blvd Historic District
 - Parcels
 - Airport Buffer Zone*
- Overlay Zoning**
- I-196
 - M-40
 - M-40/I-196
- Zoning Class**
- AGR Agriculture
 - C-1 Neighborhood Commercial
 - C-2 Highway Commercial
 - C-3 Central Business
 - C-4 Regional Shopping Center
 - C-5 Professional Office Service District
 - ED Education
 - I-1 Industrial
 - I-2 Industrial Park
 - PRD Planned Residential Development
 - PUD Planned Unit Development
 - R-T Traditional Residential Neighborhood
 - R-1 One Family Residential
 - R-2 One & Two Family Residential
 - R-3 Residential
 - R-4 Mobile Home & Residential
 - R-5 Apartment
 - WIN Windmill Island



Revised Through Ordinance 1742
 Adopted Date: August 15, 2019
 Effective Date: September 5, 2019





Unified Development Ordinance (UDO)

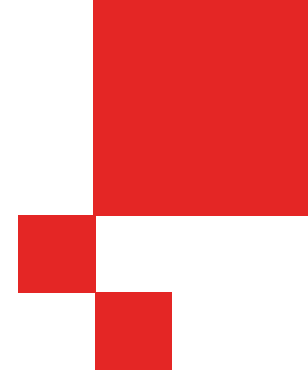
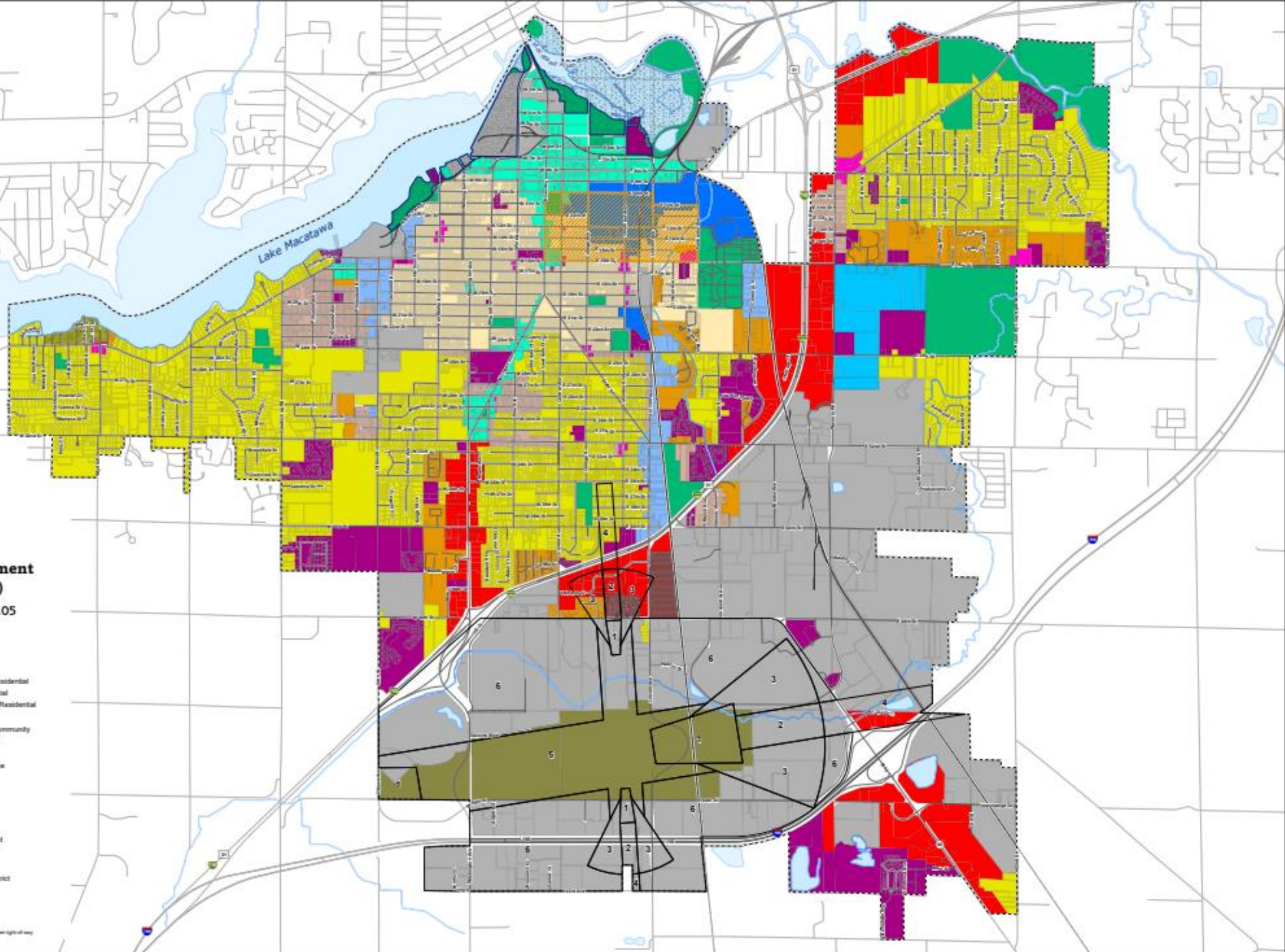
Zoning Map Section 1.05

City of Holland, Michigan

August 11, 2021

- LDR - Low Density Residential
- CNR - Cottage Neighborhood Residential
- MDR - Medium Density Residential
- TNR - Traditional Neighborhood Residential
- HDR - High Density Residential
- MHR - Manufactured Housing Community
- NMU - Neighborhood Mixed Use
- CMU - Corridor Mixed Use
- RMU - Redevelopment Mixed Use
- GMU - Greenfield Mixed Use
- ED - Education
- I - Industrial
- A - Airport
- OS - Open Space
- PUD - Planned Unit Development
- F - Farm Based Code
- Airport Overlay District
- Hope Neighborhood Overlay District
- Waterfront Overlay District
- Water
- Marsh

*Any stippling within the City Limits represents unincorporated right-of-way



Chapter 39

ZONING

ARTICLE I

In General

- Sec. 39-1. Short title.
- Sec. 39-2. Definitions.
- Sec. 39-3. Interpretation and purposes; conflicting regulations.
- Sec. 39-4. Districts established and enumerated.
- Sec. 39-4.1. Consolidated public notice requirements.
- Sec. 39-5. District boundaries; Zoning Map; lots divided by boundary lines.
- Sec. 39-6. Classification of annexed areas.
- Sec. 39-7. Compliance with district regulations.
- Sec. 39-8. Restoring unsafe buildings.
- Sec. 39-9. Special requirements relative to mixed occupancy.
- Sec. 39-10. Substandard residential lots.
- Sec. 39-11. Fences in Residential Zone Districts; traffic visibility.
- Sec. 39-12. Height exceptions.
- Sec. 39-13. Building height benchmarks.
- Sec. 39-14. Essential services generally.
- Sec. 39-15. Oil and gas drilling.
- Sec. 39-16. Access to a public right-of-way.
- Sec. 39-17. Conditional uses.
- Sec. 39-17.1. Review of special land uses.
- Sec. 39-17.2. Special land use standards for indoor archery and firearms ranges.
- Sec. 39-17.3. Special land use standards for light assembly uses in specific commercial zone districts.
- Sec. 39-17.4. Fair housing accommodation policy.
- Sec. 39-18. Aircraft landing as principal or accessory use.
- Sec. 39-18.1. On-site use wind energy systems and anemometer towers of 100 feet or less.
- Sec. 39-19. Changes, amendments, etc.; fees.
- Sec. 39-19.1. Medical use of marihuana.

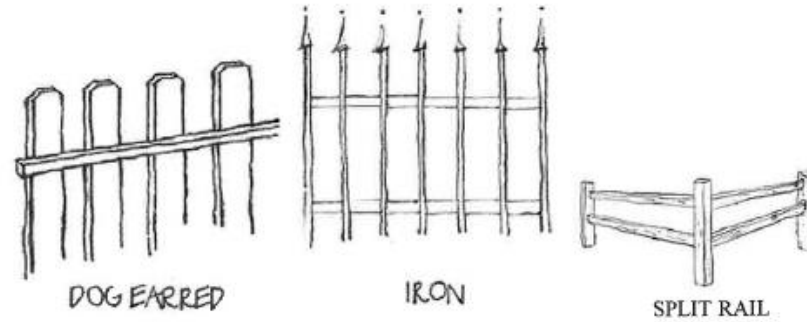
ARTICLE II

Site and Development Plan Review

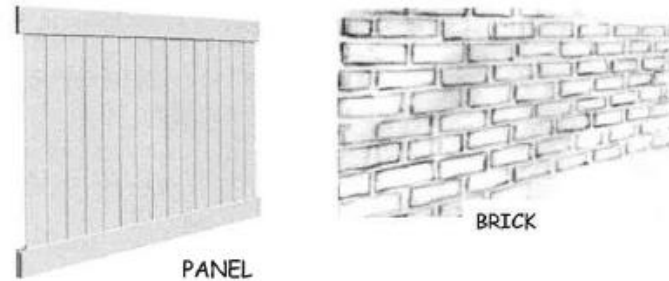
- Sec. 39-20. Intent.
- Sec. 39-21. Site plan, review required.
- Sec. 39-22. Standard new construction plan review.
- Sec. 39-23. Administrative staff review.
- Sec. 39-24. Planning Commission site plan review and development plan review.
- Sec. 39-25. Development standards; site and development plans.
- Sec. 39-26. Additional development standards for PUD Planned Unit Developments and PRD Planned Residential Developments.
- Sec. 39-27. Additional requirements for site condominium projects.
- Sec. 39-28. Additional standards for overlay zone districts.
- Sec. 39-29. Additional requirements for development in the C-3 Central Business District.
- Sec. 39-30. Modifications to approved site and development plans.
- Sec. 39-31. Appeals procedure.

(c) Fence types:

- (1) Open fence. A fence that is more than 50% open when viewed from an angle perpendicular to the fence. Examples: dog-eared, wrought iron, gothic, board, round, split-rail.







- (2) Solid fence. A freestanding and rigid fence made of wood, concrete, PVC, or other similar fence materials providing 50% or less visual and reasonable sound blocking properties. Examples: ornamental metal, rot-resistant wood, brick, block.

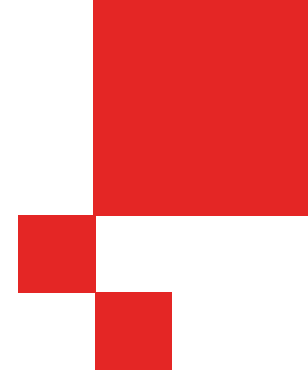


- (d) Prohibited fences. Slats in chain link fence, barbed, razor, concertina, electrified or similar wire, fabric, tarp, materials not traditionally used for fencing or screening.
- (e) Fence maintenance. All fences must be kept in good repair, safety, and appearance on both sides of the fence by its owner. Fences must be constructed of wood, metal, bricks, masonry, plastic or other materials designed for permanent outdoor fencing. Wood fences must be constructed of cedar, redwood, or other decay-resistant wood. Peeling, flaking and chipped coating must be eliminated and surfaces recoated. The property owner is responsible for maintaining the area between the property line and the owner's fence.
- (f) Residential fence height maximums.

SECTION 39-3.05 BUILDING TYPES OVERVIEW

BUILDING TYPES	REQUIREMENTS	SUB-DISTRICTS PERMITTED		
Mixed Use 	<ul style="list-style-type: none"> Be more than 1 <i>story</i>. Have a commercial first story of at least 16 ft clear height, with an entrance facing the front street. The commercial first story may be designated for other uses, but shall be designed to accommodate a commercial use. Have upper <i>stories</i> designed for residential or commercial uses. Any combination of building types not listed as permitted in another building type shall be considered a mixed use building. 	CDT	NDT	EDT
		WDT	CENT	SIXT
		RM	WASH	SSV
Commercial 	<ul style="list-style-type: none"> First <i>story</i> shall be a minimum of 16 ft in height. Be designed for a commercial use. Not include any residential units. 	CDT	NDT	EDT
		WDT	CENT	SIXT
		RM	WASH	SSV
Multifamily (5+ units) 	<ul style="list-style-type: none"> Have 5 or more attached residential units, sharing interior hallways and exterior entrances. Not include commercial or other non-residential uses, except for <i>amenities</i> for the residents. 	NDT	EDT	WDT
		CENT	RM	WASH
Multifamily (2-4 units) 	<ul style="list-style-type: none"> Contain 2, 3, or 4 attached residential units, which may or may not share interior hallways and external entrances. Have no commercial or other non-residential uses, except for <i>amenities</i> or common space for the residents. 	EDT	RM	WASH

1	Toolbox
2	Zone Districts
3	Form Based Code
4	Adff Use Standards
5	Site Design Review Standards
6	Landscaping/ Green Inf.
7	Lighting
8	Signage
9	General Standards
10	Streets/ Sidewalks/ Driveways
11	Subdivision of Land
12	Processes/ Admin.
13	Non-conformities
14	Definitions



SECTION 39-7.02 APPLICABILITY

A. The provisions of this Section shall apply to all properties requiring *Site Plan* approval.

Prohibited

Fixtures that produce glare and light trespass



Limited

Decorative fixtures shall be permitted if the light trespass is **18%** or less.



Permitted

Fixtures that shield the light source to minimize glare and light trespass and to facilitate better vision at night



This graphic is meant to be illustrative and is not regulatory in and of itself.

- 1 Toolbox
- 2 Zone Districts
- 3 Form Based Code
- 4 Add'l Use Standards
- 5 Site Design Review Standards
- 6 Landscaping/ Green Inf.
- 7 Lighting
- 8 Signage
- 9 General Standards
- 10 Streets/ Sidewalk/ Driveways
- 11 Subdivision of Land
- 12 Processes/ Admin.
- 13 Non-conformities
- 14 Definitions

Why?

- **Streamline**
 - Clean up inconsistencies
 - Organize more effectively
 - Make more “user-friendly”
 - Economic Development
- **Modernize**
 - Form Based Code
 - Mixed Use
 - Modern Housing Options
 - Complete Streets

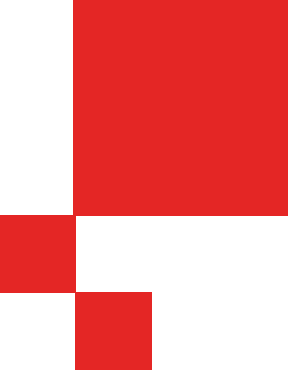


The Process

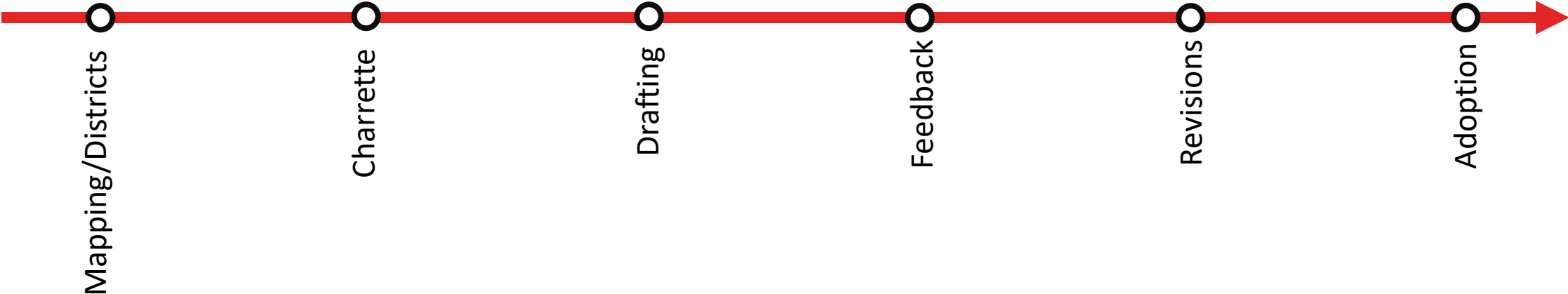


MCKENNA

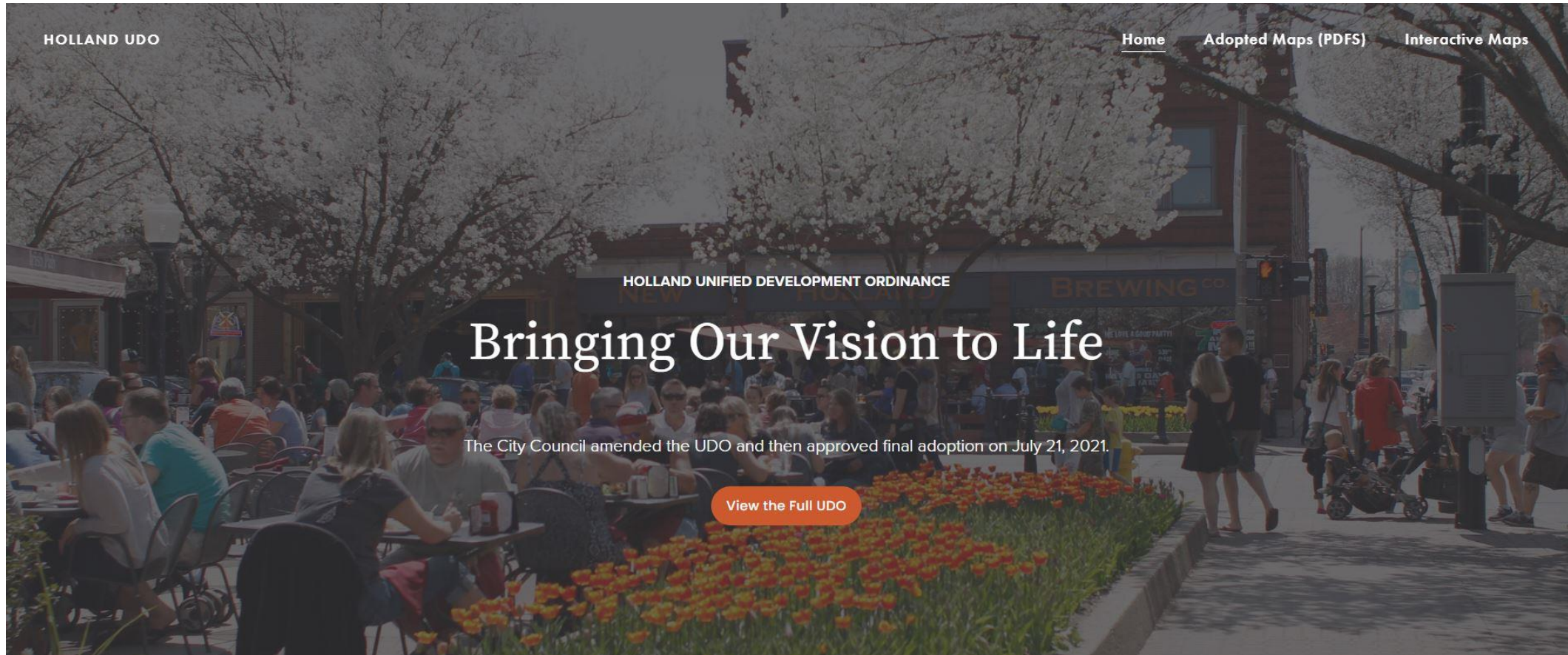
The Process



What we planned:

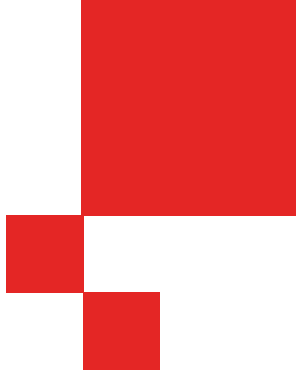


Engagement and Consensus Building

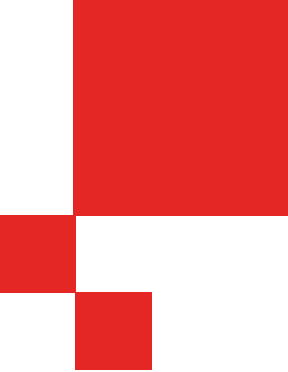


Charrette

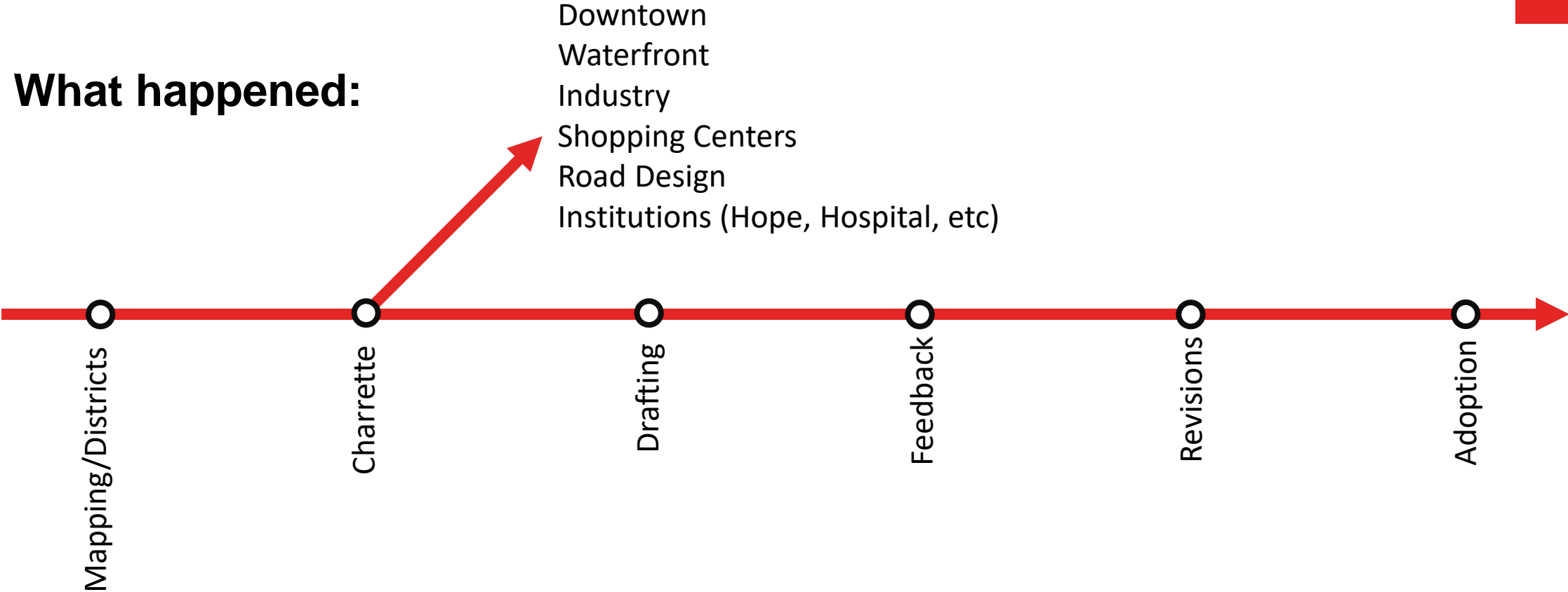
- **One Week**
- **Locations throughout City**
- **Stakeholders Invited**
- **General Public Welcomed**
- **Outcome:**
 - **Form Based Code Vision**
 - **Solidified District Lines**
 - **Downtown Edges**
 - **Mixed Use Framework**



The Process

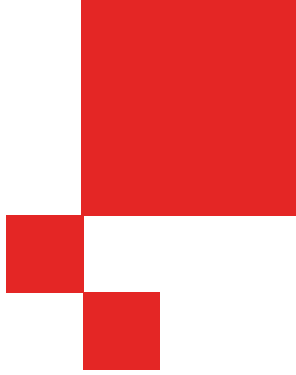


What happened:



Follow Up – Stakeholders

- **DDA**
- **Downtown Business Owners**
- **Downtown Developers**



Follow Up – Stakeholders

- **Industrial Businesses**
- **Waterfront Property Owners**



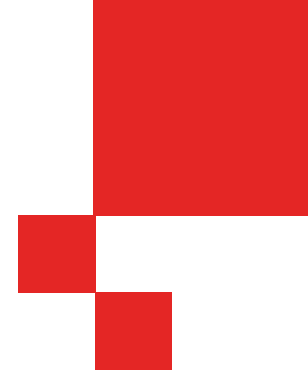
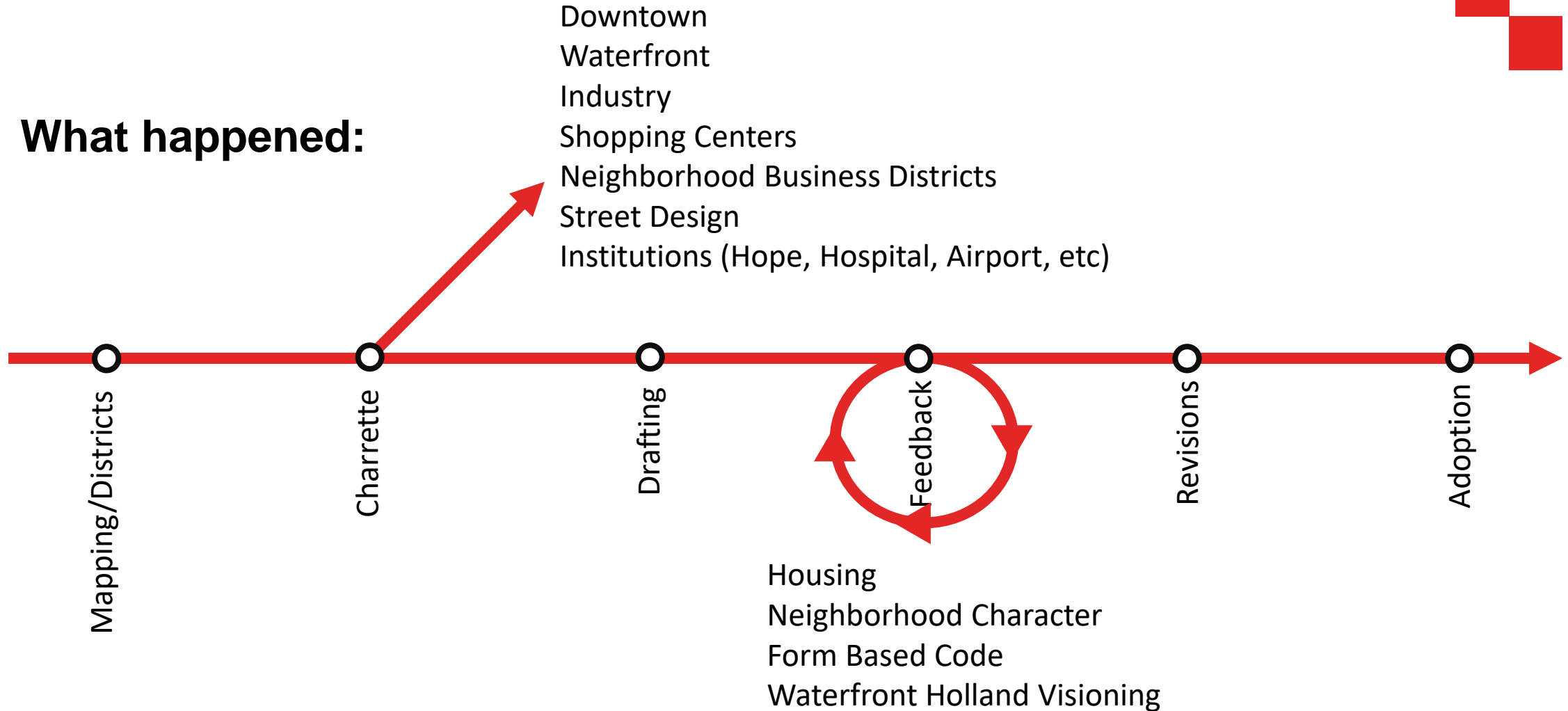
Follow Up – Stakeholders

- **West Michigan Regional Airport**
- **Holland Hospital**
- **Hope College**



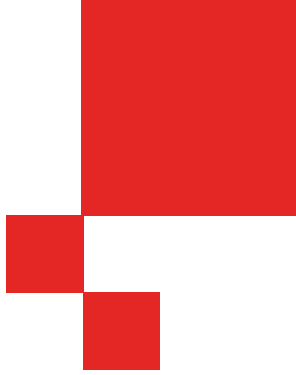
The Process

What happened:



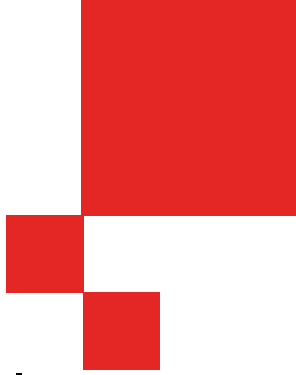
Housing Survey and Meetings

- **Online, paper, and at library.**
- **Follow-up neighborhood meetings.**
- **Questions phrased as hypothetical redevelopments?**
 - “Would you support your neighbor expanding their home?”
 - “Would you support new homes on empty lots near you? 2 units on a lot? 3? 4? More?”
 - “Would you support houses being replaced by 2 units? 3 units? 4 units? More?”



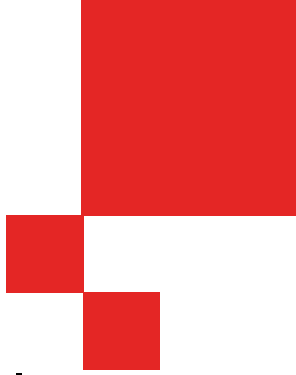
Housing Survey and Meetings

- **Support for infill or “missing middle” housing was high:**
 - **62%** said they would support the house **next door** becoming a duplex
 - **76%** said they would support a house “**down the street**” becoming a duplex

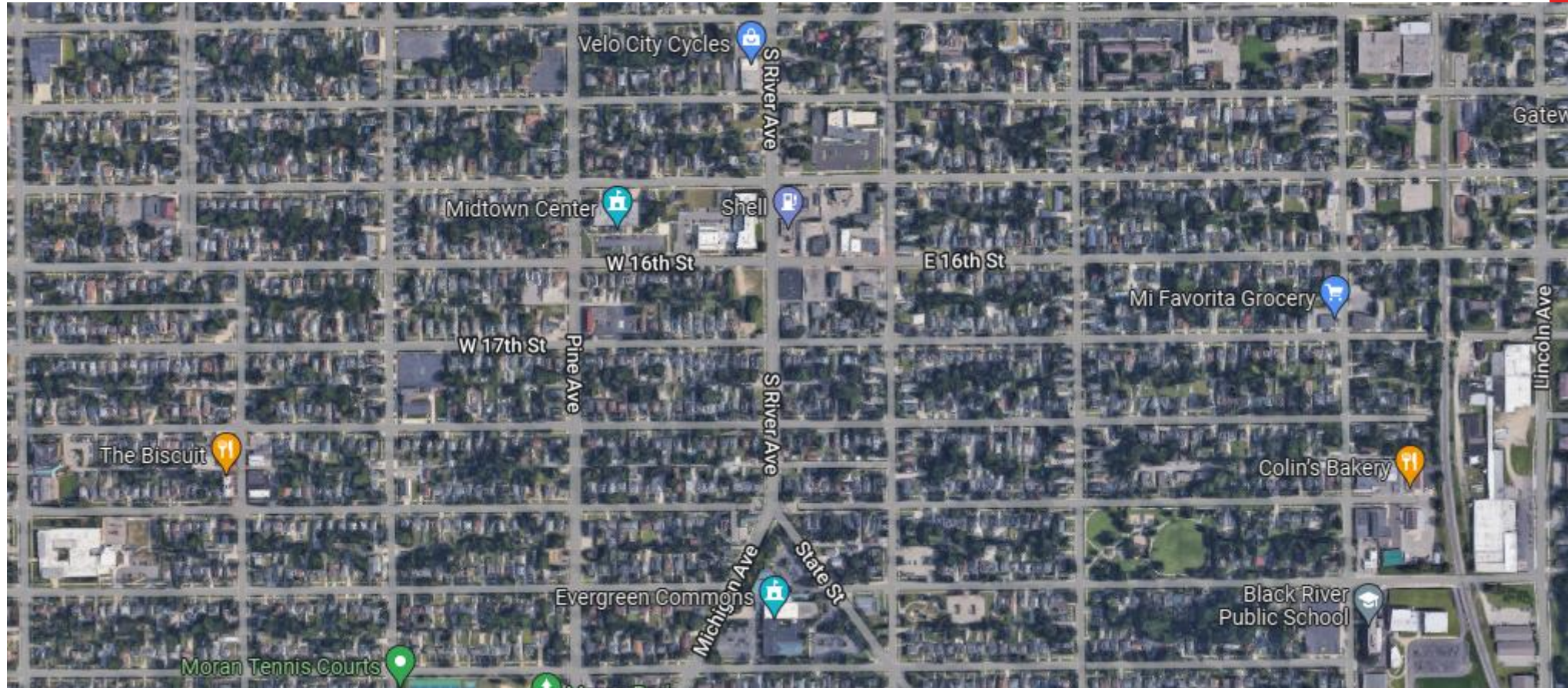


Housing Survey and Meetings

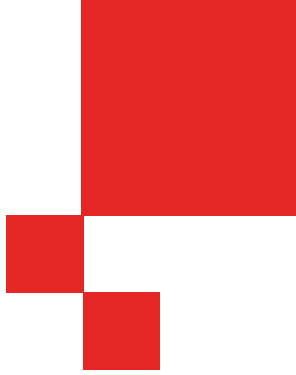
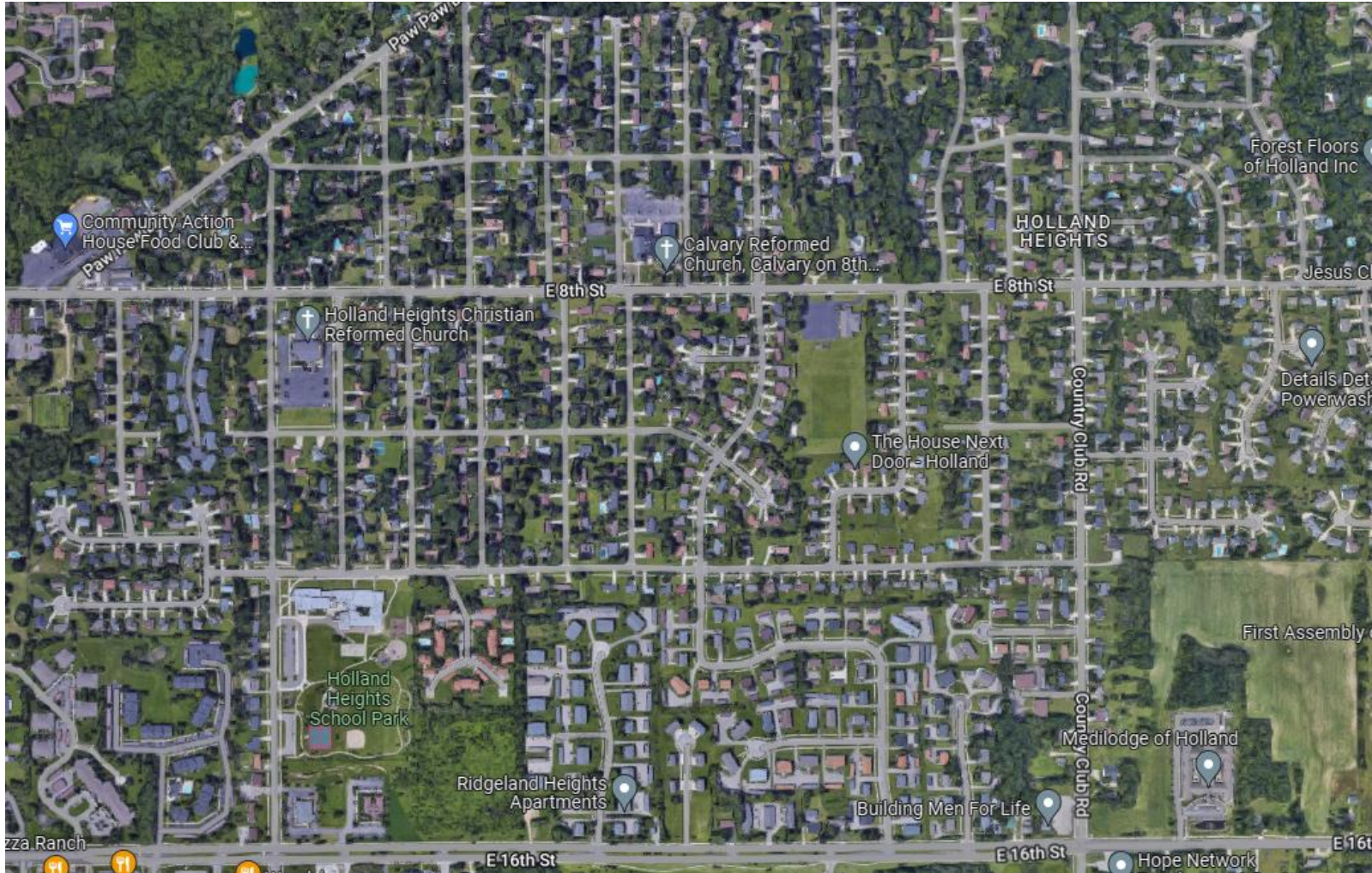
- **Support for infill or “missing middle” housing was high:**
 - **62%** said they would support the house **next door** becoming a duplex
 - **76%** said they would support a house “**down the street**” becoming a duplex
- **This turned out to be misleading**



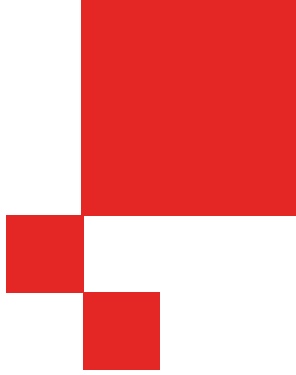
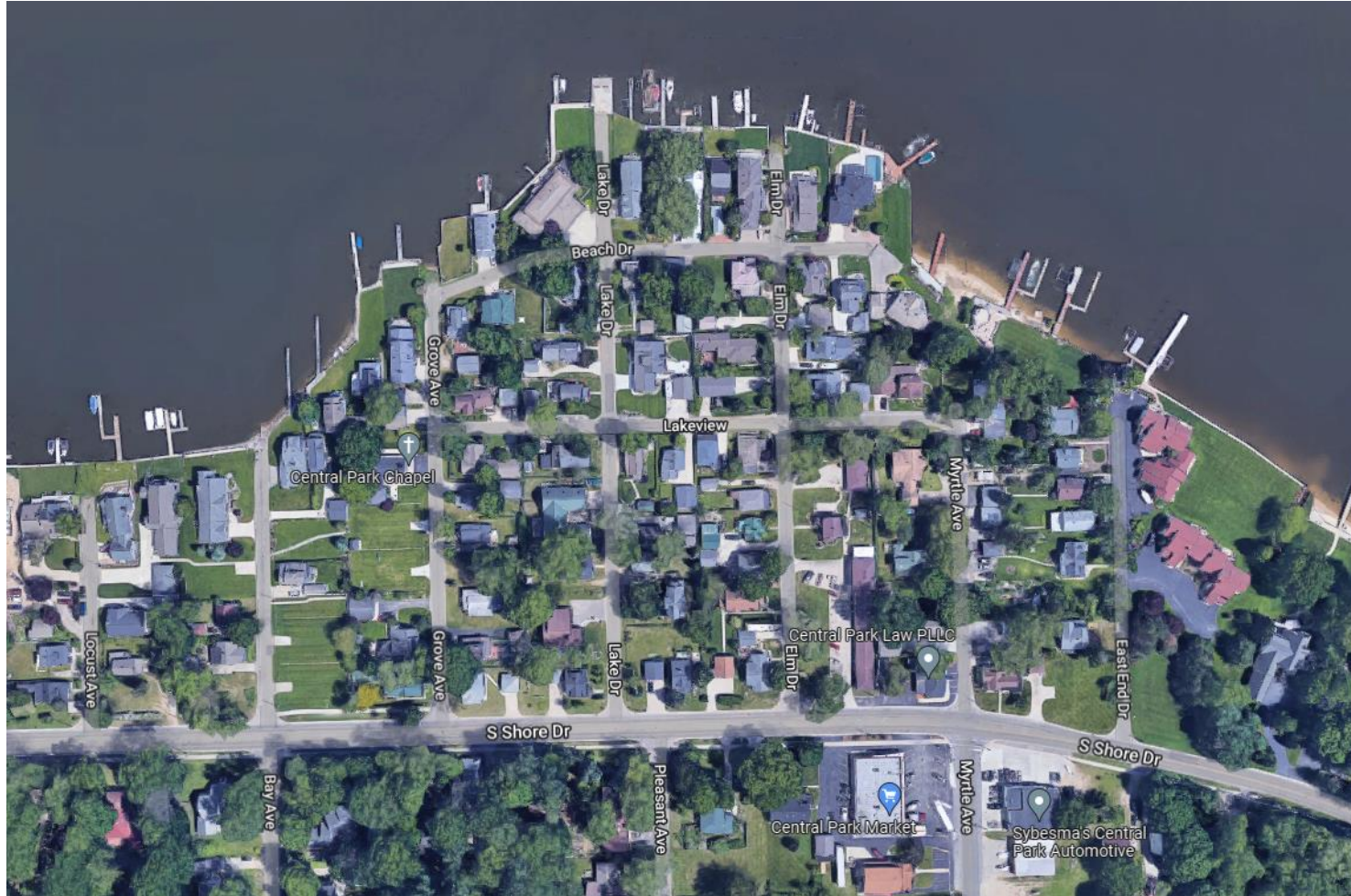
Follow Up – Neighborhood Meetings



Follow Up – Neighborhood Meetings



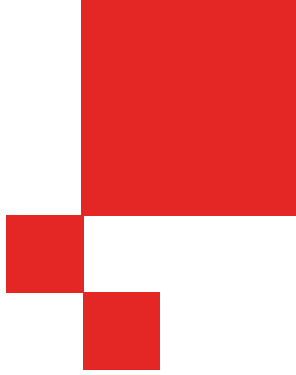
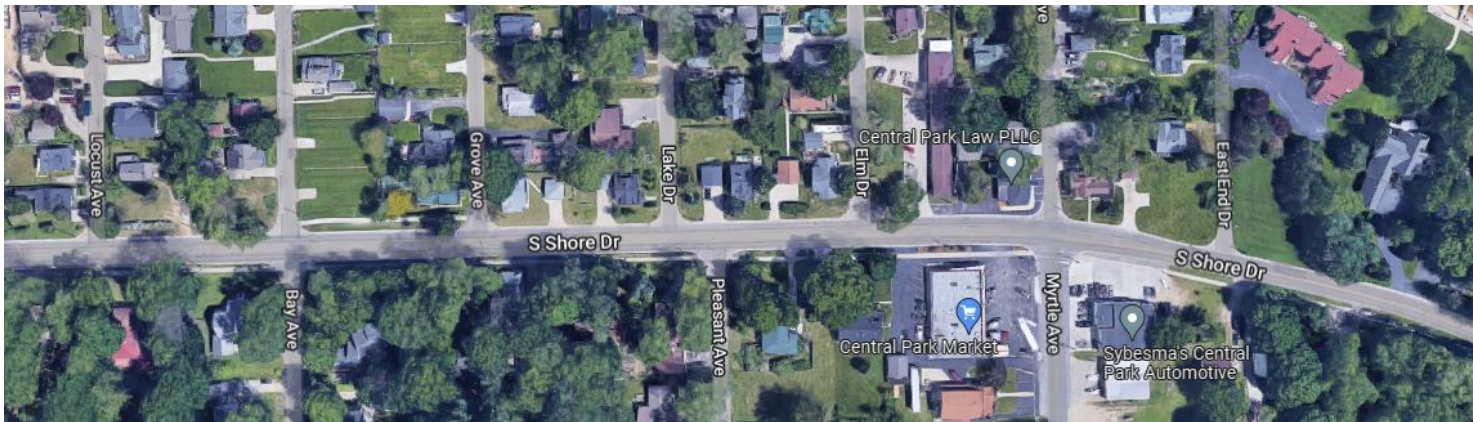
Follow Up – Neighborhood Meetings



Follow Up – Neighborhood Meetings

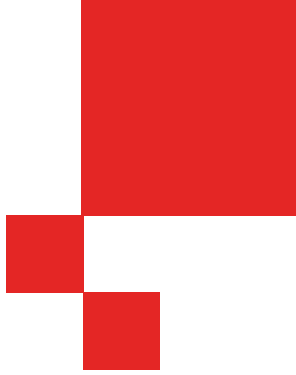


“But we like going to the ZBA!”



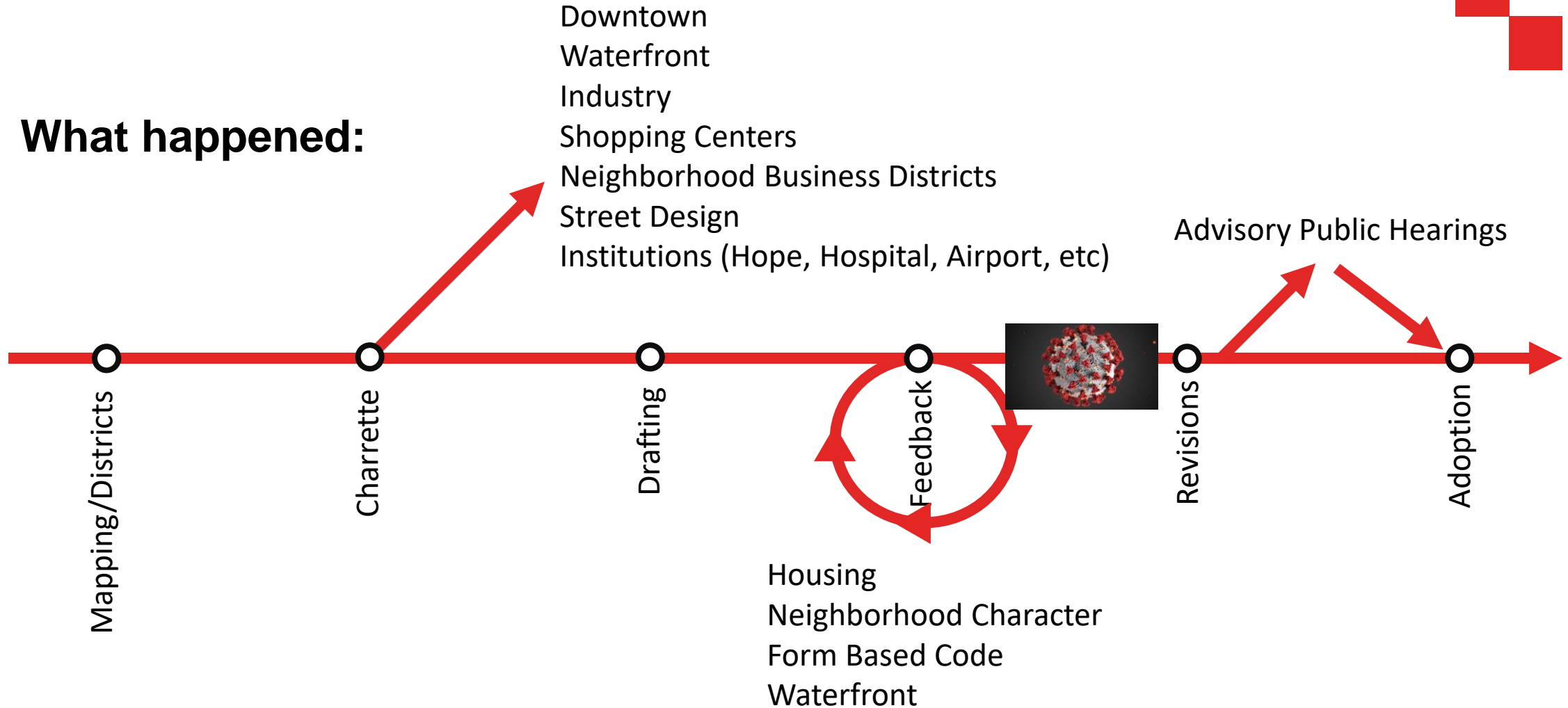
Follow Up – Neighborhood Meetings

Setbacks	Existing Ordinance R-1 District	UDO CNR District
Front Yard	Min: 30 feet	Min: 20 feet (25 feet when abutting a right-of-way less than 33 feet wide)
Side Yard	Residential: Two side yards totaling 18 ft; no side yard less than 7 feet Non-Residential: Min. of 20 ft each side	Residential: Min: 7 feet Max: None Non-Residential: Min: 20 feet Max: None
Rear Yard	Min: 25 feet Max: None	Min: 20 feet Max: None
Secondary Street Frontage	20 ft. Min.	Min: 10 feet Max: None
Max. Bldg. Height	35 feet	30 feet
Min. Lot Size	8,400 Square Feet	5,000 square feet
Min. Lot Width	70 feet	50 feet



The Process

What happened:



Carrying on through Covid

- Interactive “Storymap”


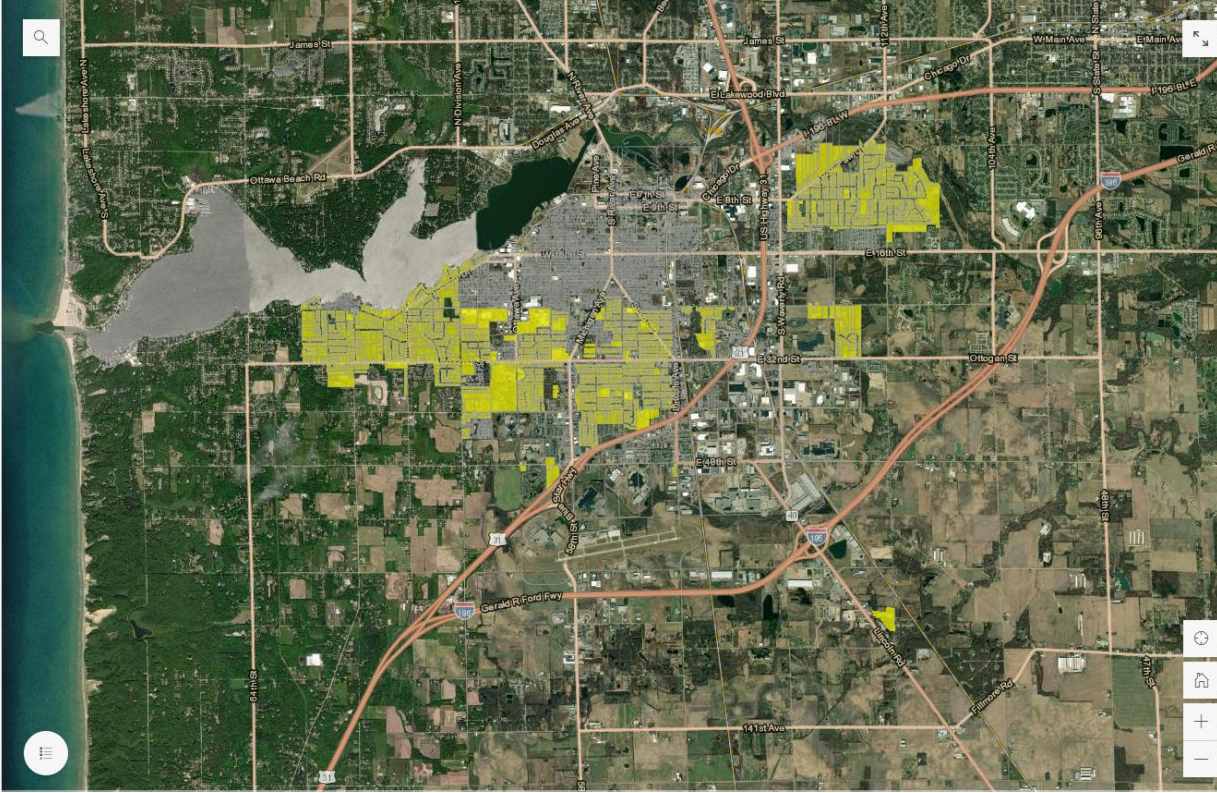
LDR

Low Density Residential

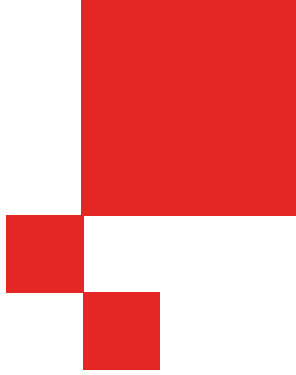
The LDR Low Density Residential Zone District is closely related to the existing R-1 Zone District, with some changes to the setback requirements.

Intent:

The LDR Low Density Residential Zone District is intended for single detached dwelling units and for two-dwelling units residential uses on properties greater than 10,000 sq. ft. Non-residential uses are permitted on separate properties that are compatible with residential uses such as schools and religious institutions.

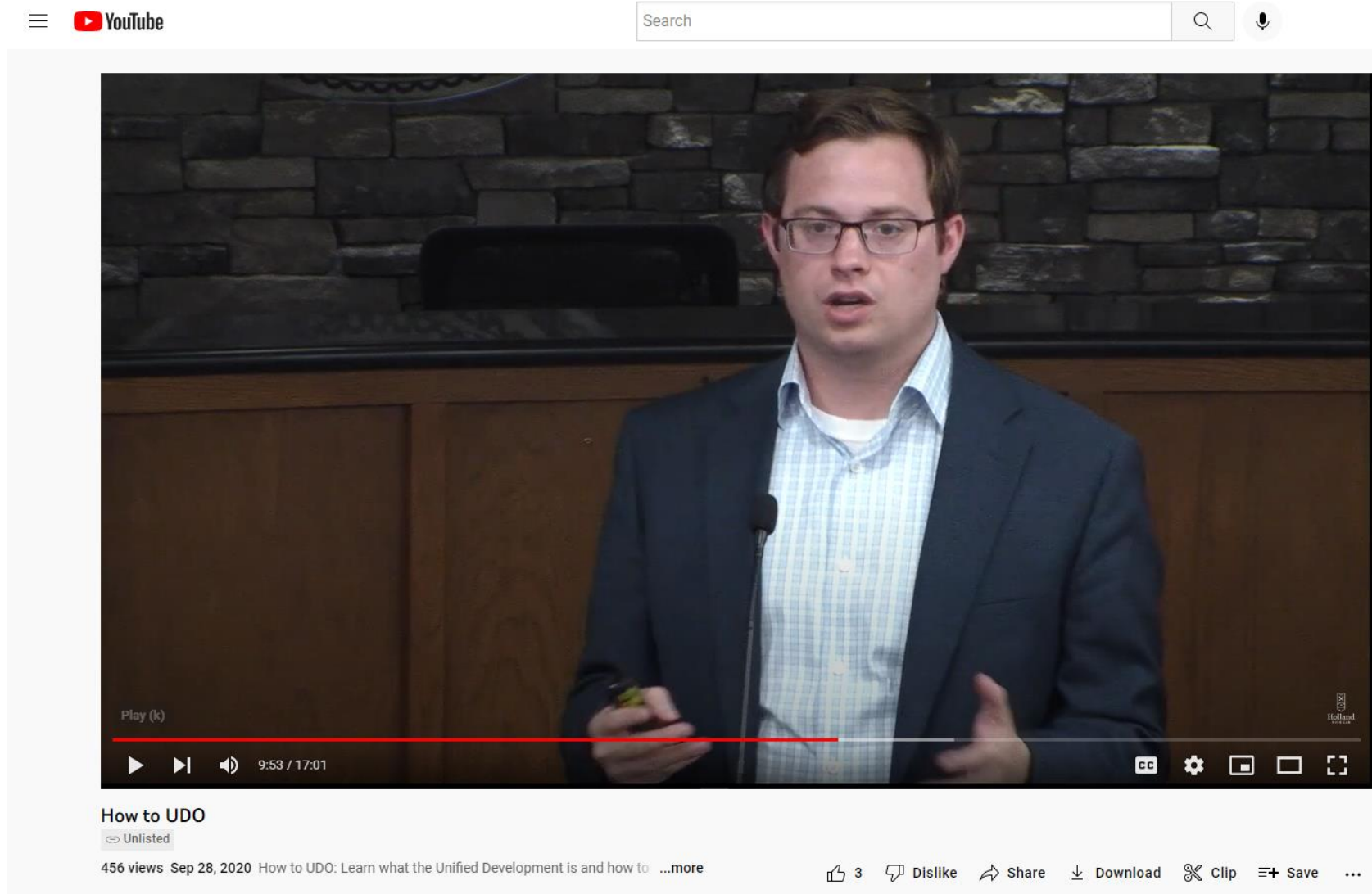


01 / 18

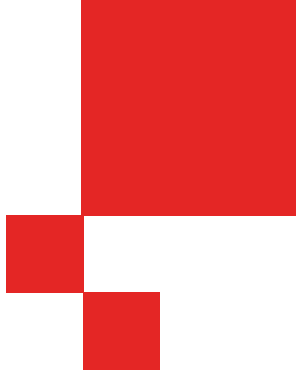


Carrying on through Covid

- Videos

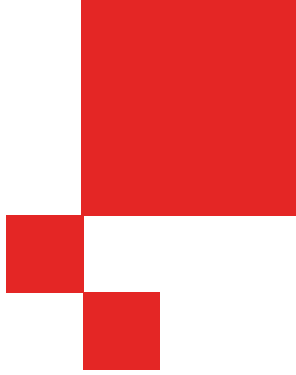


The image shows a screenshot of a YouTube video player. At the top, the YouTube logo and a search bar are visible. The video itself features a man with glasses, wearing a blue blazer over a light blue checkered shirt, speaking at a podium. The background is a dark stone wall. The video player controls at the bottom show a progress bar at 9:53 / 17:01, along with icons for play, volume, and other settings. Below the video, the title 'How to UDO' is displayed, followed by 'Unlisted' and '456 views Sep 28, 2020'. A description snippet reads 'How to UDO: Learn what the Unified Development is and how to ...more'. Interaction icons for like (3), dislike, share, download, clip, and save are also present.



Carrying on through Covid

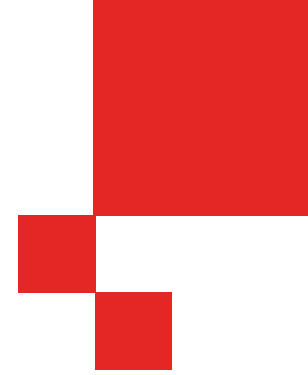
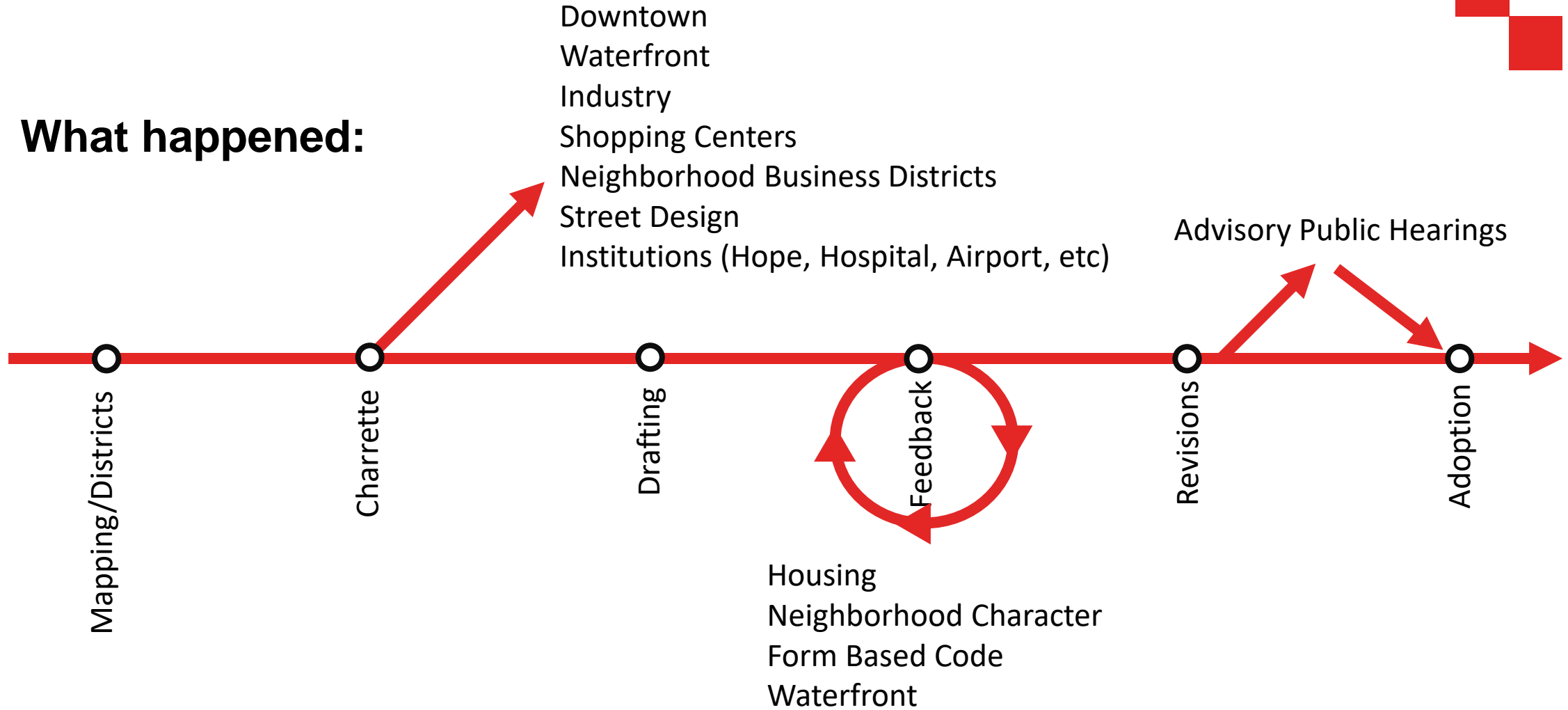
- **Zoom Workshops - Unintentional**
- **Planning Commission meetings on Zoom due to Covid**
 - **>150 residents participated**
 - **Key Topic: Housing**
 - Accessory Dwelling Units
 - Duplexes/Triplexes/Quadplexes
 - Minimum Lot Size





The Process

What happened:



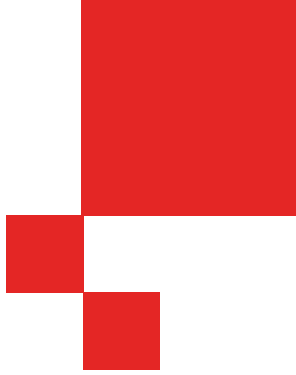
Achieving Consensus

- **“Advisory Public Hearings”**
 - In addition to the one required by the Zoning Enabling Act
- **Residential Advisory Hearing**
- **Non-Residential Advisory Hearing**



Achieving Consensus

- **Final City Council Votes**
- **Agreement in Principle:** Vote on final issues, then unanimous adoption
 - **Final Issues**
 - Allow Duplexes in Low Density Residential (LDR) District – **Failed 9-0**
 - Change the acronym for LDR to “R-1” – **Failed 6-3**
 - Keep the same residential density as the old Ordinance in the Traditional Neighborhood Residential District (TNR) – **Passed 9-0**
 - Set the required parking spaces for residential units in the Form Based Code “North Downtown” District at 1.2 spaces per unit – **Passed 6-3**



Achieving Consensus

- **Final City Council Votes**
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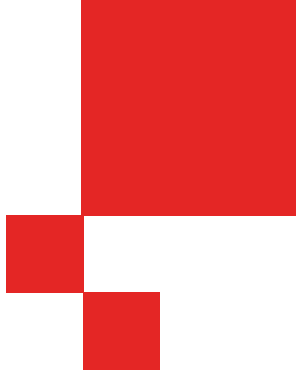
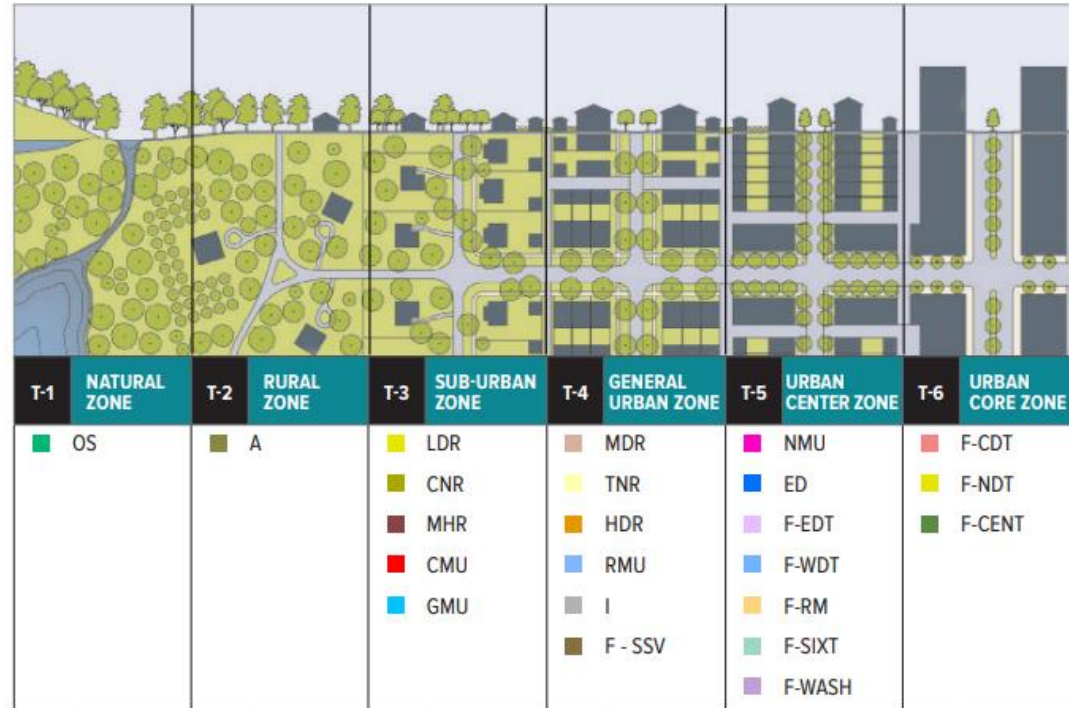
Final Vote: 9-0 to Adopt UDO



The Outcome

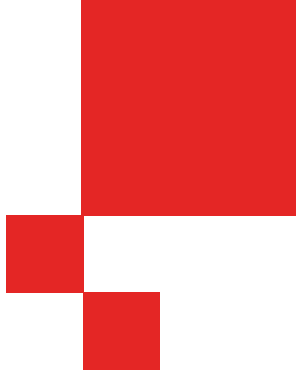
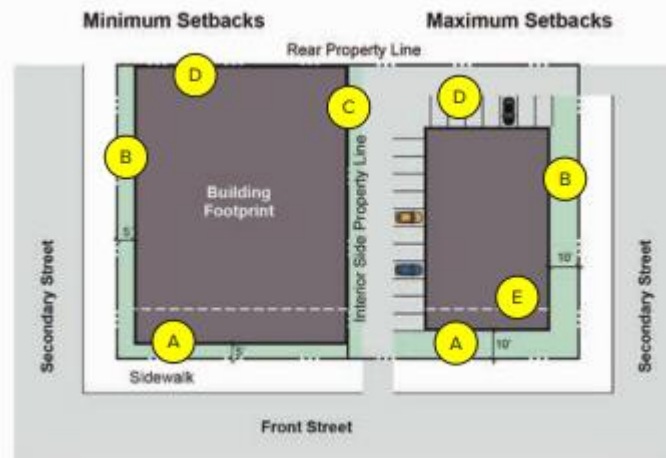
The Outcome

- Form Based Code
- Mixed Use Districts
- “Regular” Districts
- Airport Overlay
- Street Design
- Landscaping/Stormwater
- Signage
- Housing
- Format and Organization



Form Based Code

BUILDING TYPES	REQUIREMENTS	SUB-DISTRICTS PERMITTED		
Mixed Use 	<ul style="list-style-type: none"> Be more than 1 story. Have a commercial first story of at least 16 ft clear height, with an entrance facing the front street. The commercial first story may be designated for other uses, but shall be designed to accommodate a commercial use. Have upper stories designed for residential or commercial uses. Any combination of building types not listed as permitted in another building type shall be considered a mixed use building. 	CDT	NDT	EDT
		WDT	CENT	SDXT
		RM	WASH	SSV
Commercial 	<ul style="list-style-type: none"> First story shall be a minimum of 16 ft in height. Be designed for a commercial use. Not include any residential units. 	CDT	NDT	EDT
		WDT	CENT	SDXT
		RM	WASH	SSV
Multifamily (5+ units) 	<ul style="list-style-type: none"> Have 5 or more attached residential units, sharing interior hallways and exterior entrances. Not include commercial or other non-residential uses, except for amenities for the residents. 	NDT	EDT	WDT
		CENT	RM	WASH
Multifamily (2-4 units) 	<ul style="list-style-type: none"> Contain 2, 3, or 4 attached residential units, which may or may not share interior hallways and external entrances. Have no commercial or other non-residential uses, except for amenities or common space for the residents. 	EDT	RM	WASH

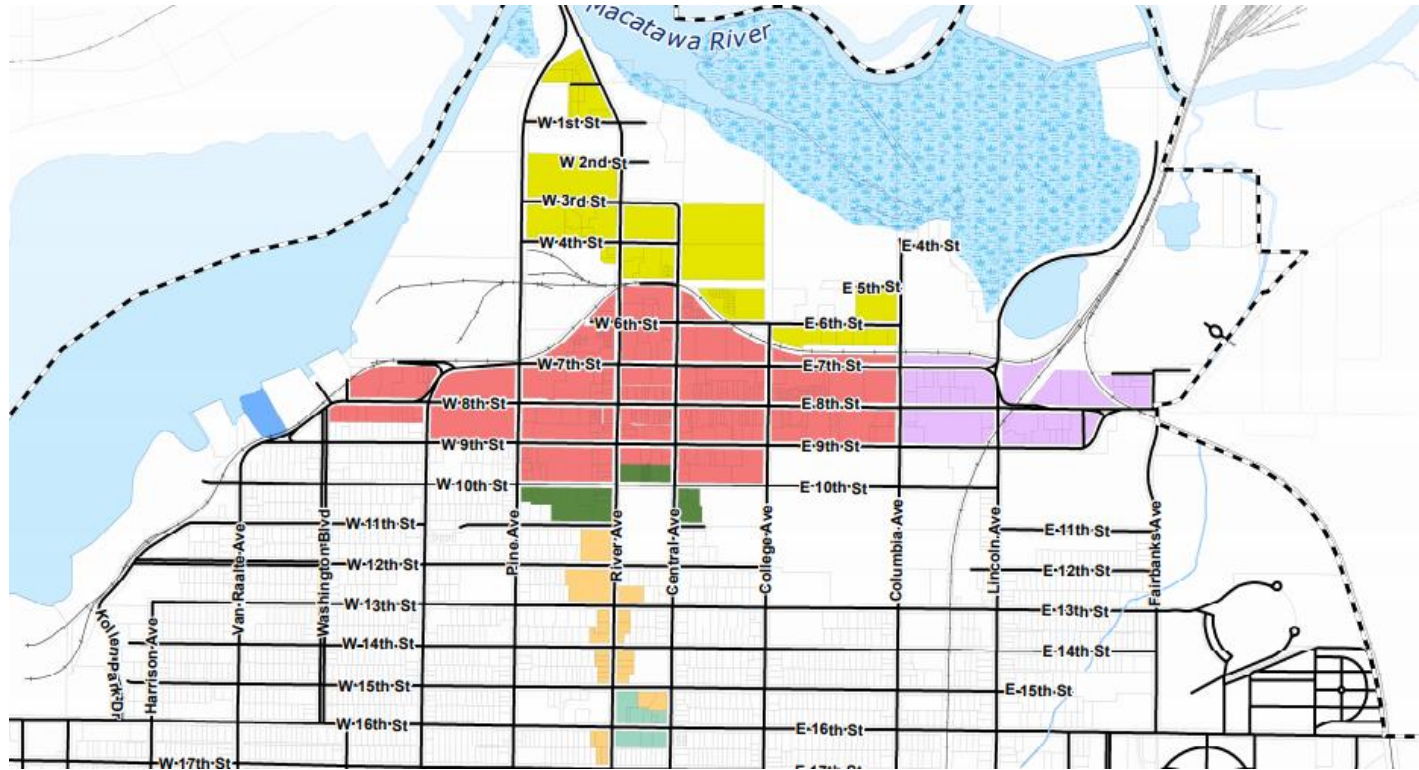


FBC Map

Downtown

Centennial
Park

River Ave



Legend

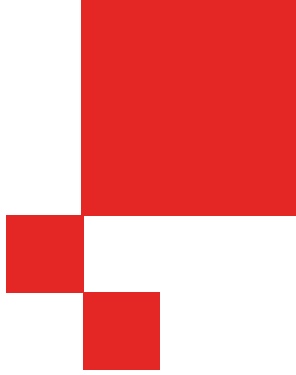
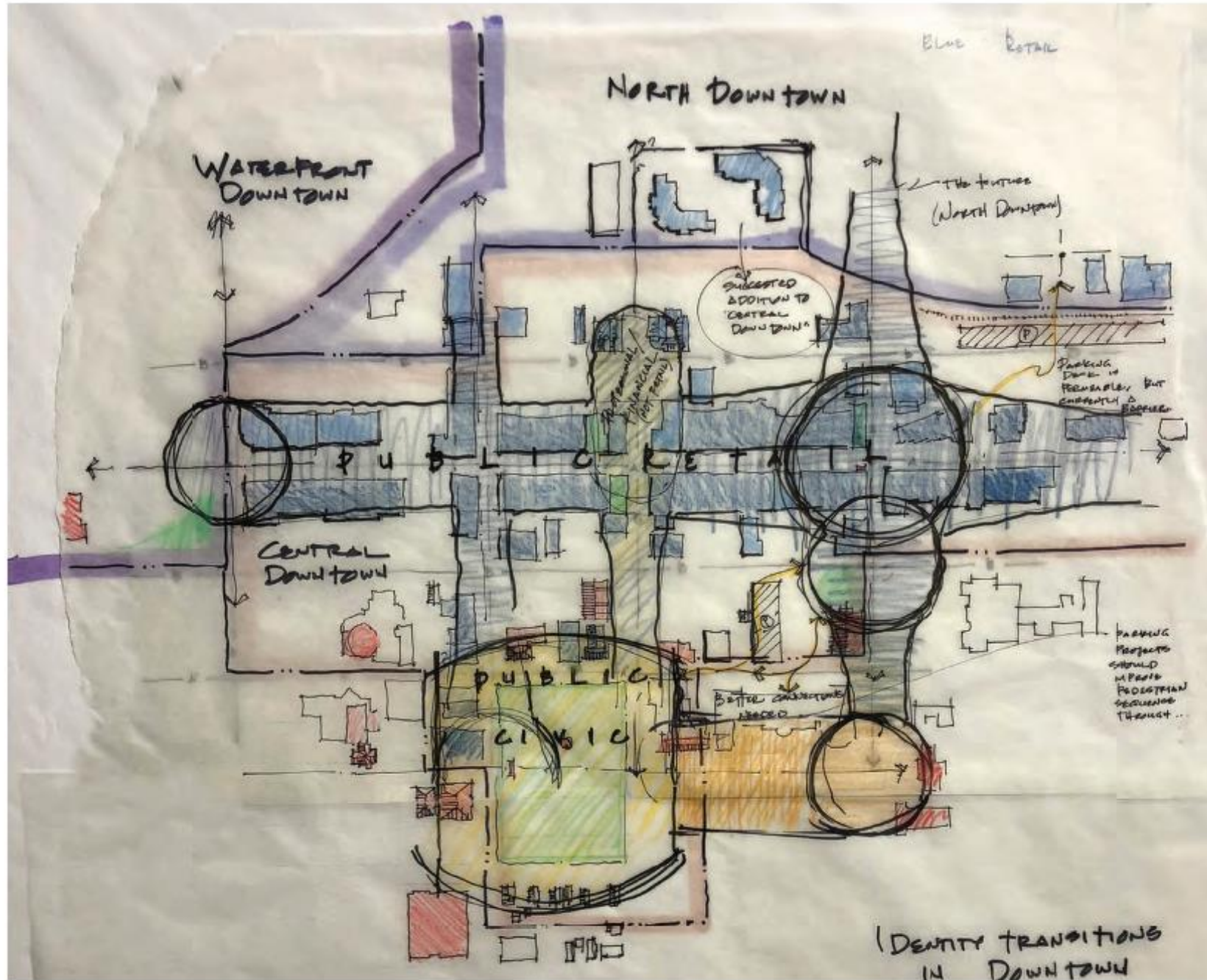
- CDT - Central Downtown
- NDT - North Downtown
- EDT - East Downtown
- WDT - Waterfront Downtown
- CENT - Centennial
- RM - River Michigan
- SIXT - 16th Street
- WASH - Washington
- SSV - South Shore Village
- Water
- Marsh



Sketches
from
Charrette

Downtown

Centennial
Park

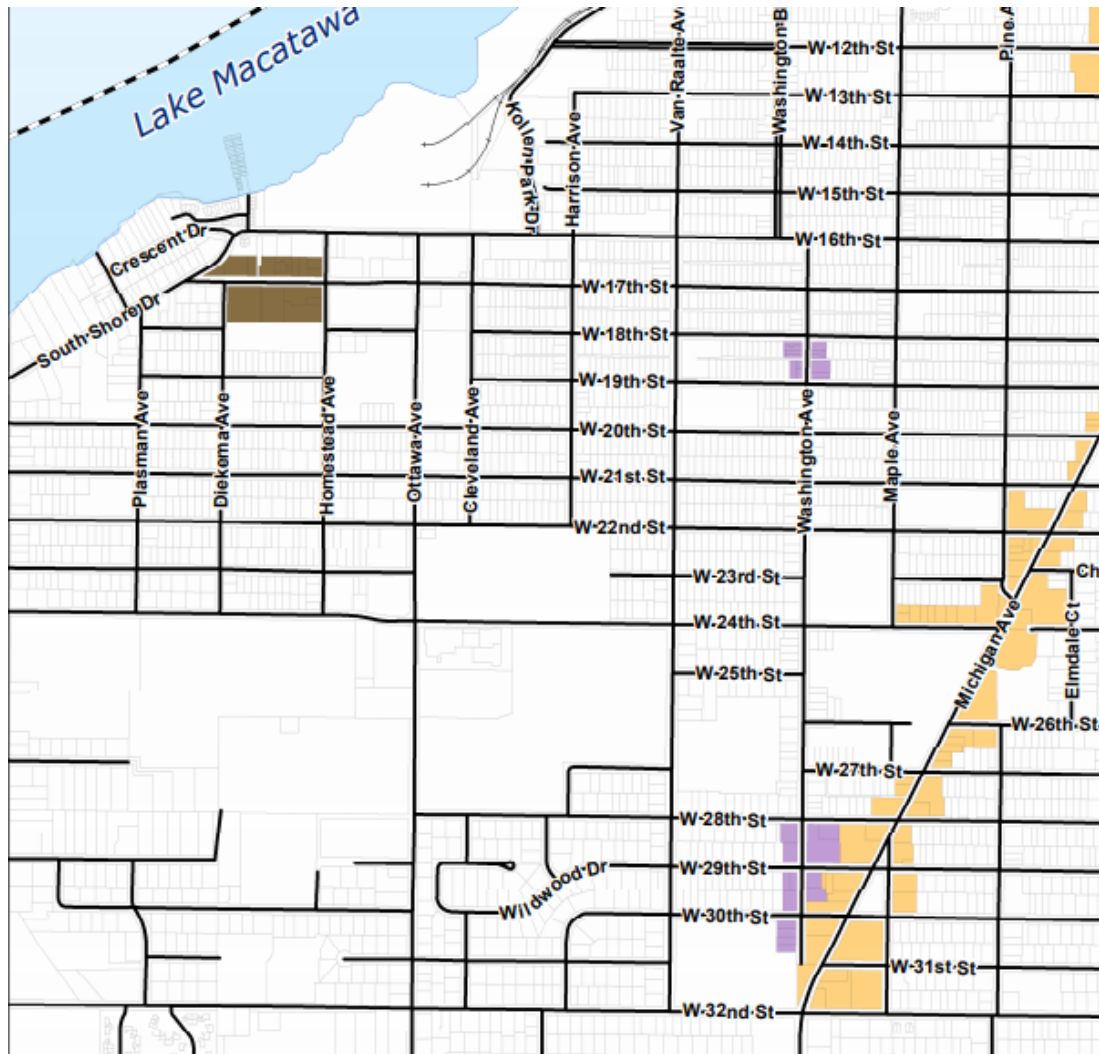


FBC Map

South
Shore
Village

Washington
Square

Michigan
Avenue



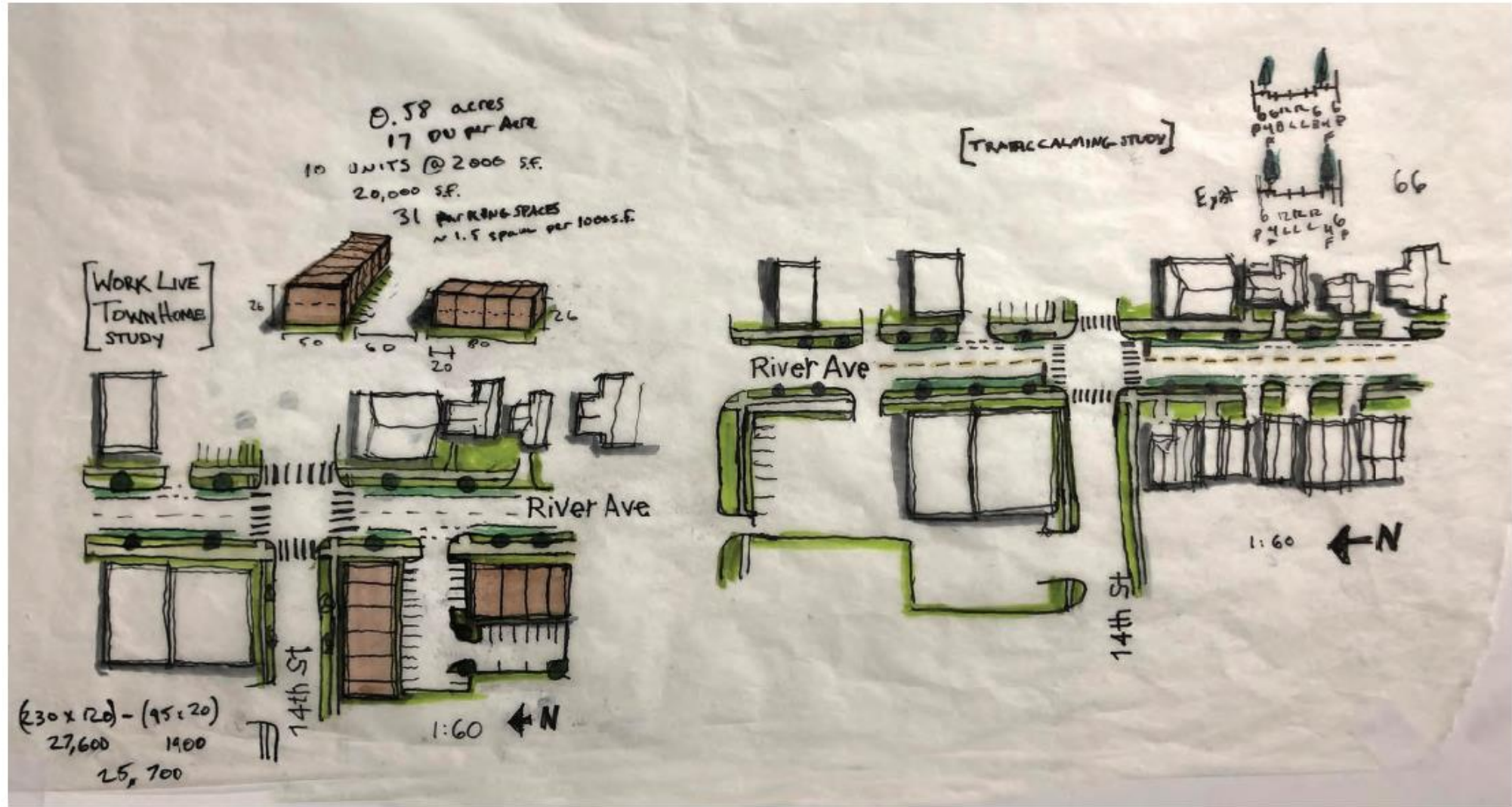
Legend

- CDT - Central Downtown
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- Marsh



Sketches from Charrette

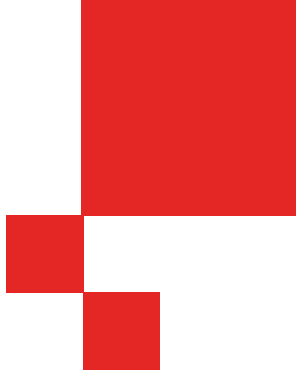
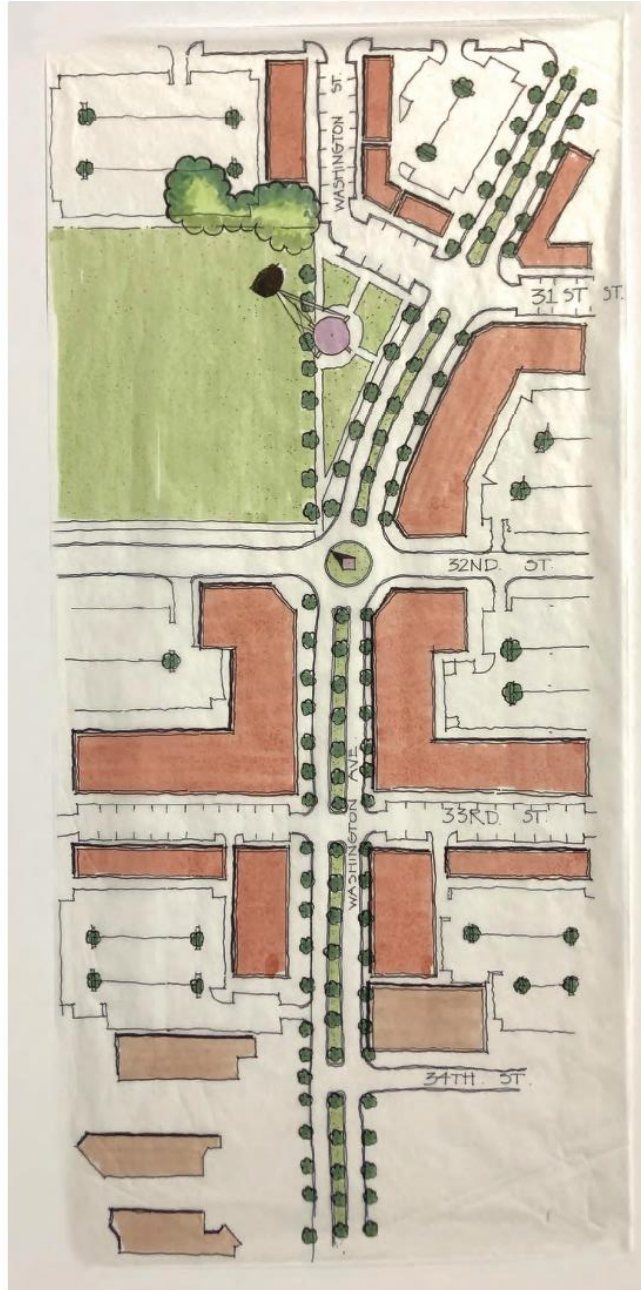
River/14th



Sketches from Charrette

Michigan
Avenue

“Old”
Washington



Sketches from Charrette

Michigan
Avenue

“Old”
Washington

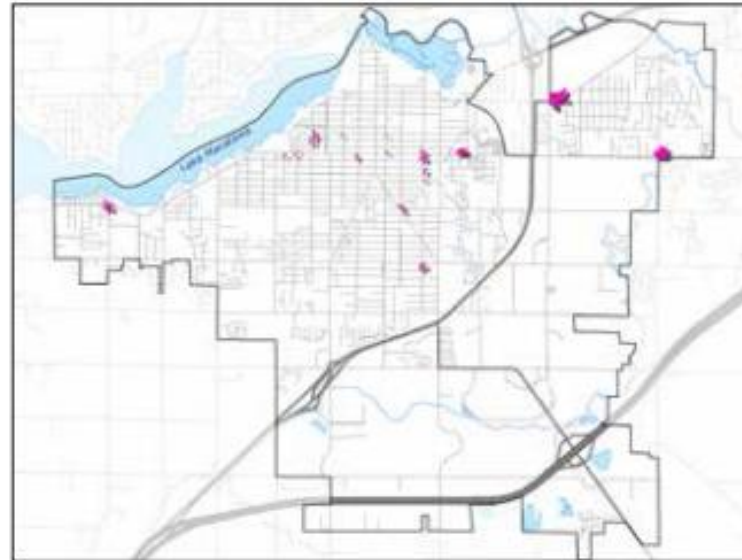


Mixed Use Districts

SECTION 39-2.11 NEIGHBORHOOD MIXED USE ZONE DISTRICT

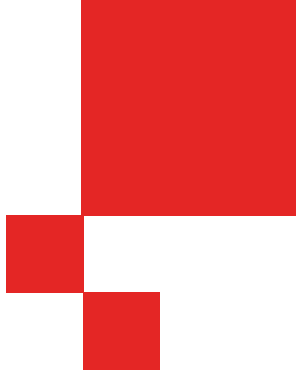
NMU

- A. **Intent:** The NMU Neighborhood Mixed Use Zone District is intended to protect and enhance the economic vitality of Holland's traditional, full-service neighborhoods and to encourage walkability to employment and amenities by allowing *mixed use development*. The NMU Zone District is specifically intended for nodes of activity with a combination of uses, such as retail, *amenities*, services, and multi-family housing, adjacent to *Residential Zone Districts*.



Mixed Use Districts





317 CENTRAL

CONCEPT FOR SITE PLAN
EVALUATION
April 12, 2022

Clapboard siding and trim proposed for second floor speaks of a domestic character and use



Masonry cladding proposed for the ground floor anchors the building in service to a neighborhood-scale public realm and activated sidewalk

View looking SE from the corner of E 13th St. and Central Avenue

Openings along Central Ave. are 6'-8" wide to accommodate flexibility in locating entrances based on commercial use and/or tenant preferences. Canopies and awnings may be used by tenants depending on preference.

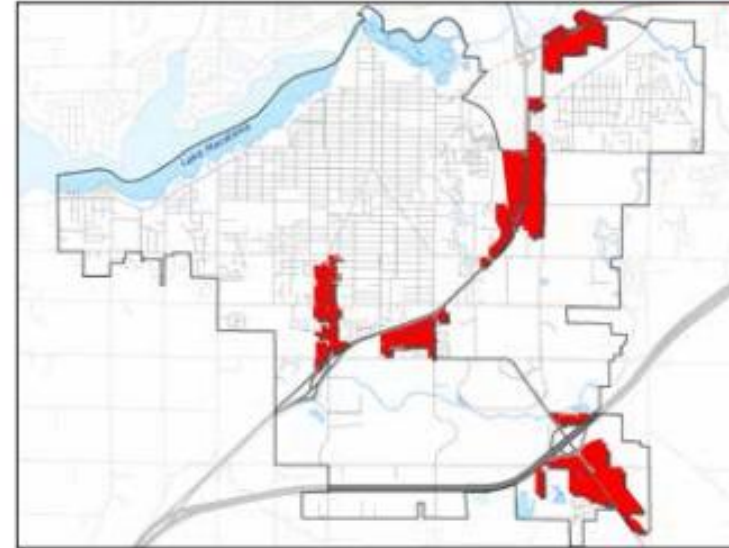
Design Team:
POSTHUMUS ARCHITECTS PLLC
BROAD STREET STUDIO
DRIESEN & ASSOCIATES INC.
HYK CONSULTING, LLC

Mixed Use Districts

SECTION 39-2.12 CORRIDOR MIXED USE ZONE DISTRICT

CMU

- A. **Intent:** The CMU Corridor Mixed Use Zone District is intended to encourage a broad mix of uses along higher traffic corridors in order to preserve and enhance the economic vitality of the City. Allowing residential uses up to 20% on the ground floor and no maximum *density* requirement above commercial uses will provide additional affordable housing opportunities and convenient, walkable *amenities*, entertainment, and employment. *Vehicle-oriented commercial* uses are also intended for this *Zone District*.



Mixed Use Districts



Mixed Use Districts



Mixed Use Districts

SECTION 39-2.13 REDEVELOPMENT MIXED USE ZONE DISTRICT

RMU

- A. **Intent:** The intent of the RMU Redevelopment Mixed Use Zone District is to promote the *redevelopment* of older industrial and business corridors by allowing a large variety of uses, and all forms of attached residential uses. *Redevelopments* are encouraged to be designed to reflect the informal and quasi-industrial character of the existing *development* in building materials and architectural features. A focus on walkability is central for this *Zone District*.



Mixed Use Districts



Mixed Use Districts



Mixed Use Districts



Mixed Use Districts

SECTION 39-2.14 GREENFIELD MIXED USE ZONE DISTRICT

GMU

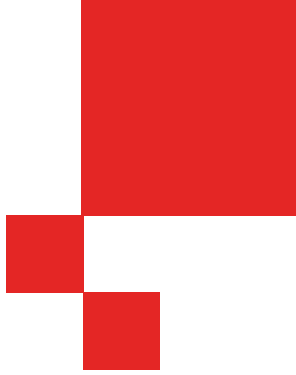
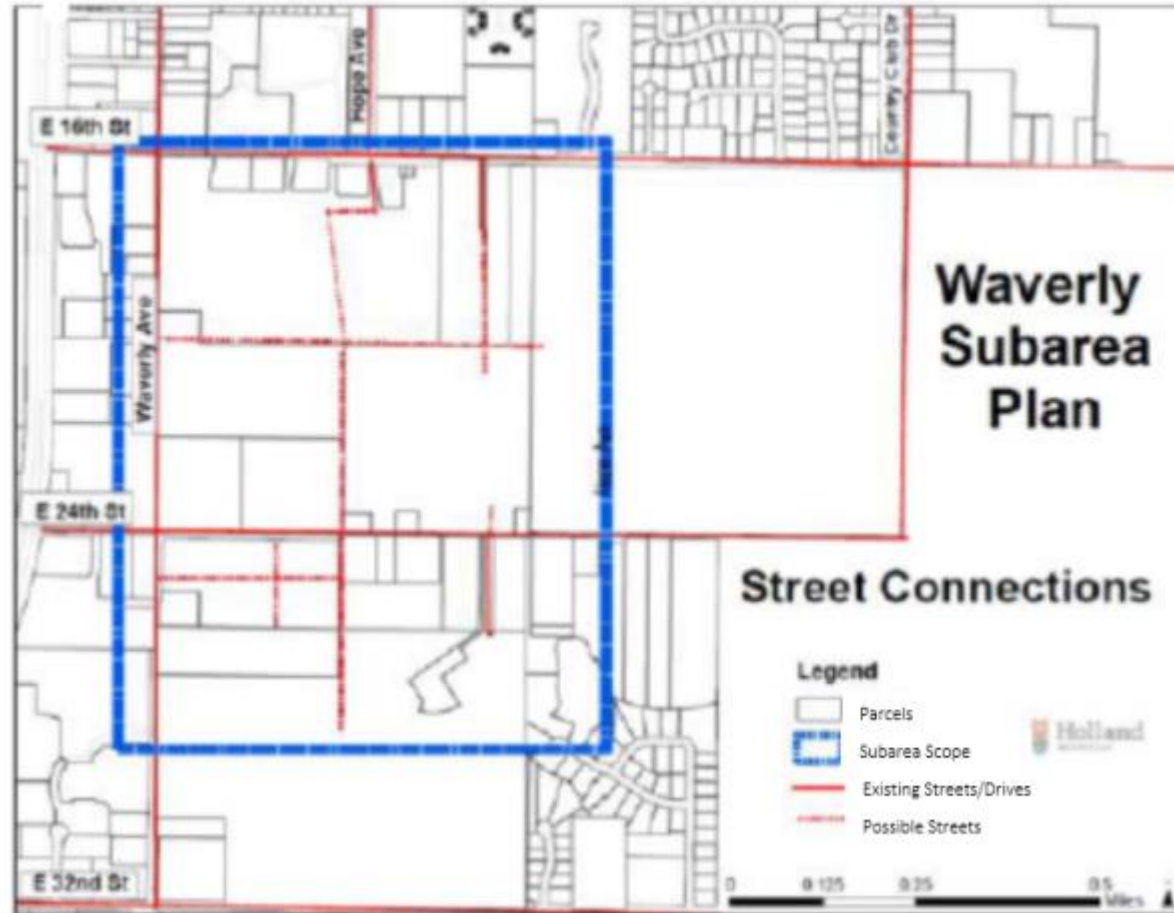
- A. **Intent:** The GMU Greenfield Mixed Use Zone District is intended for *mixed use developments* to support existing commercial uses along corridors. This *Zone District* provides standards to ensure that connectivity, walkability, and community amenities are central in the *development* of these *properties*. To accomplish these City goals, new *developments* will be required to provide internal streets and non-motorized connections supported by open space. *Mixed Use buildings* and *Missing Middle* housing types (townhouses, small apartment *buildings*, etc) are especially encouraged.



Mixed Use Districts



Mixed Use Districts

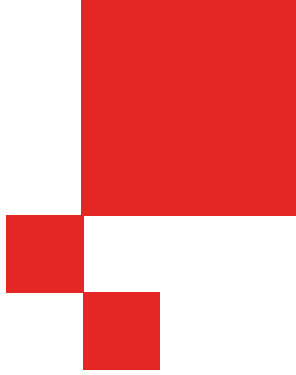


Mixed Use Districts



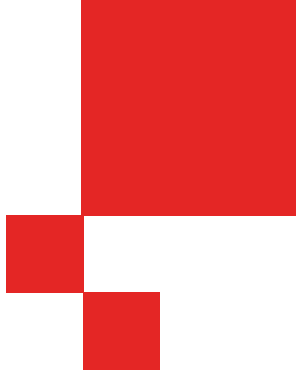
“Regular” Districts

- **LDR – Low Density Residential**
- CNR – Cottage Neighborhood Residential
- MDR – Medium Density Residential
- TNR – Traditional Neighborhood Residential
- HDR – High Density Residential
- MHR – Manufactured Housing Residential
- ED – Education
- I – Industrial
- A – Airport
- OS – Open Space
- PUD – Planned Unit Development



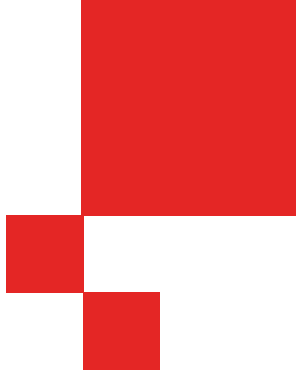
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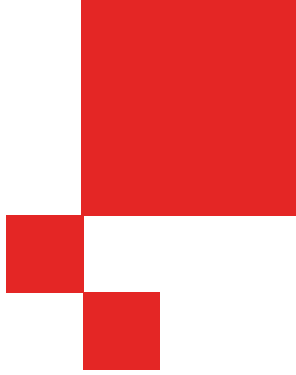
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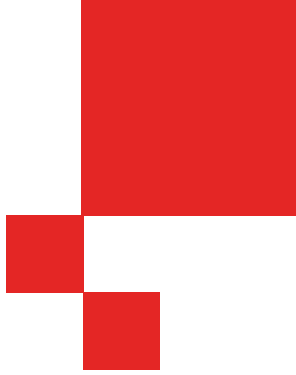
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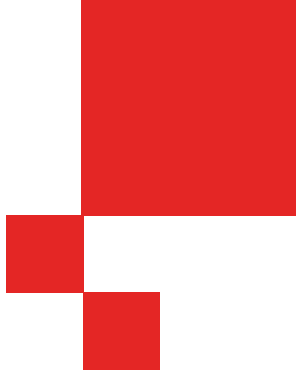
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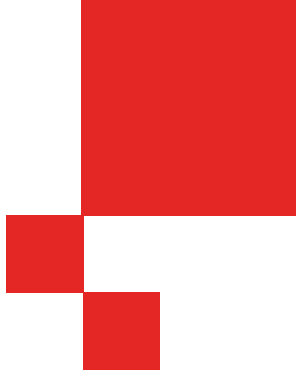
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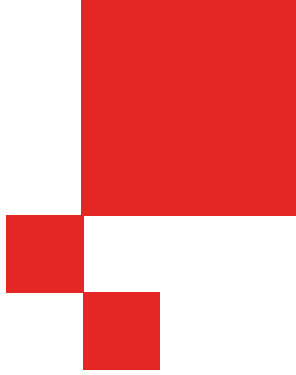
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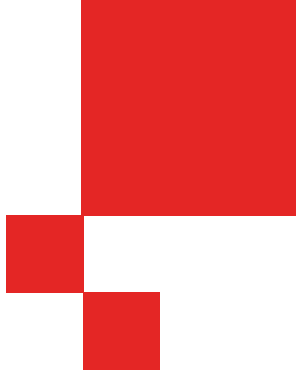
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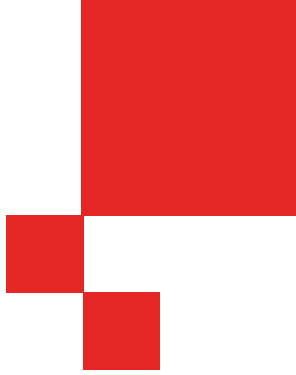


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Airport Overlay



Airport Overlay



Airport Overlay



	AREA 1	AREA 2	AREA 3	AREA 4	AREA 5	AREA 6
Uses	Aviation Uses	P	P	P	P	P
	Child Care Center	-	-	P	-	-
	Gas Station	-	-	P	P	P
	Hospital	-	-	-	-	-
	K-12 School	-	-	P	-	P
	Low Intensity Manufacturing	-	-	P	-	P
	High Intensity Manufacturing	-	-	P	-	P
	Nursing Home	-	-	-	-	-
	Outdoor Storage and Processes	-	-	P	P	P
	Power Plant (non-wind or solar)	-	-	P	P	P
	Residential Dwelling Units ^C	-	-	P	P	P
	Religious Institution	-	-	P	-	P
	Solar Energy Facilities	P	P	P	P	P
	Transportation and Logistics	-	-	P	P	P

	AREA 1	AREA 2	AREA 3	AREA 4	AREA 5	AREA 6
Uses	Warehousing	-	-	P	P	P
	Wholesale	-	-	P	P	P
	Wind Energy Facilities	-	P	P	P	P
	Wireless Communications	-	P	P	P	P
	Any other use permitted in the underlying Zone District	-	-	P	P	P
	Site Features	Maximum Structure Height	0 ft	40 ft	40 ft	40 ft
Wetlands (man-made)		-	P	P	P	P
Detention Ponds		-	P	P	P	P
Retention Ponds		-	-	-	-	-
Processes that Produce Smoke or Dust		-	-	P	P	P
Vegetation anticipated to exceed 50 feet in height during its lifespan		-	-	-	-	-
Fruit-bearing vegetation		-	-	-	-	-

Airport Overlay

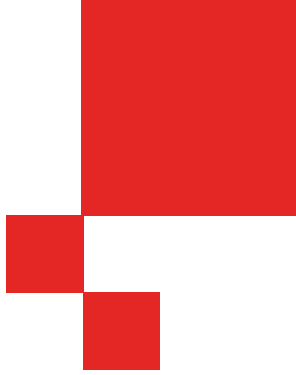
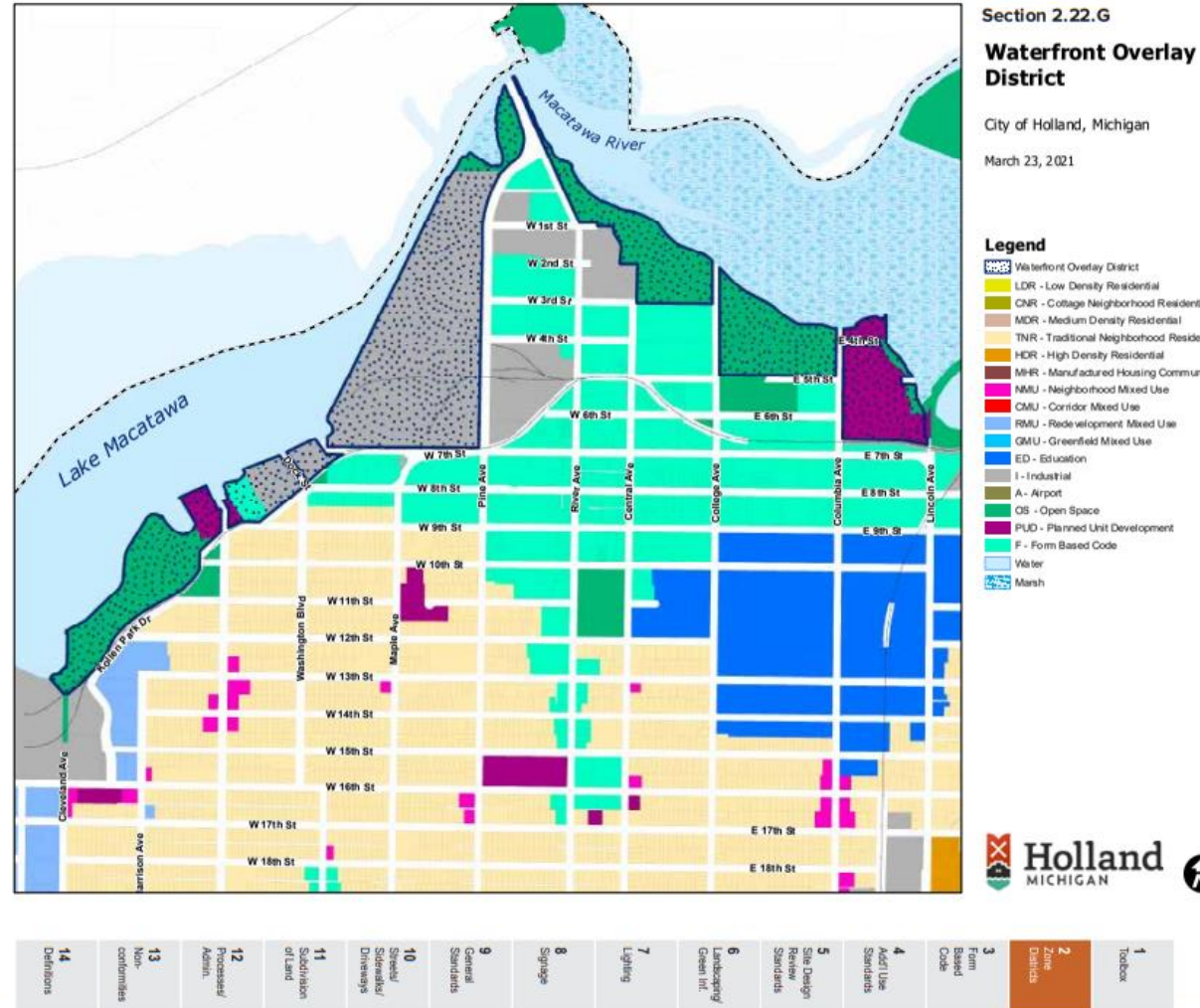


	AREA 1	AREA 2	AREA 3	AREA 4	AREA 5	AREA 6
Aviation Uses	P	P	P	P	P	P
Child Care Center	-	-	P	-	-	P
Gas Station	-	-	P	P	P	P
Hospital	-	-	-	-	-	-
K-12 School	-	-	P	-	P	P
Low Intensity Manufacturing	-	-	P	-	P	P
High Intensity Manufacturing	-	-	P	-	P	P
Nursing Home	-	-	-	-	-	-
Outdoor Storage and Processes	-	-	P	P	P	P
Power Plant (non-wind or solar)	-	-	P	P	P	P
Residential Dwelling Units ^C	-	-	-	-	P	P
Religious Institution	-	-	-	-	P	P
Solar Energy Facilities	P	P	P	P	P	P
Transportation and Logistics	-	-	P	P	P	P

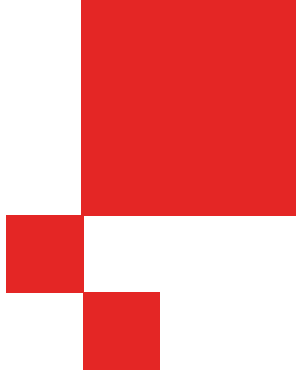
	AREA 1	AREA 2	AREA 3	AREA 4	AREA 5	AREA 6
Warehousing	-	-	P	P	P	P
Wholesale	-	-	P	P	P	P
Wind Energy Facilities	-	P	P	P	P	P
Wireless Communications	-	P	P	P	P	P
Any other use permitted in the underlying Zoning District	-	-	P	P	P	P
Maximum Structure Height	0 ft	40 ft	40 ft	40 ft	A	B
Wetlands (man-made)	-	P	P	P	P	P
Detention Ponds	-	P	P	P	P	P
Retention Ponds	-	-	-	-	-	-
Processes that Produce Smoke or Dust	-	-	P	P	P	P
Vegetation anticipated to exceed 50 feet in height during its lifespan	-	-	-	-	-	P
Fruit-bearing vegetation	-	-	-	-	-	P

Amendments in Progress

Waterfront Overlay



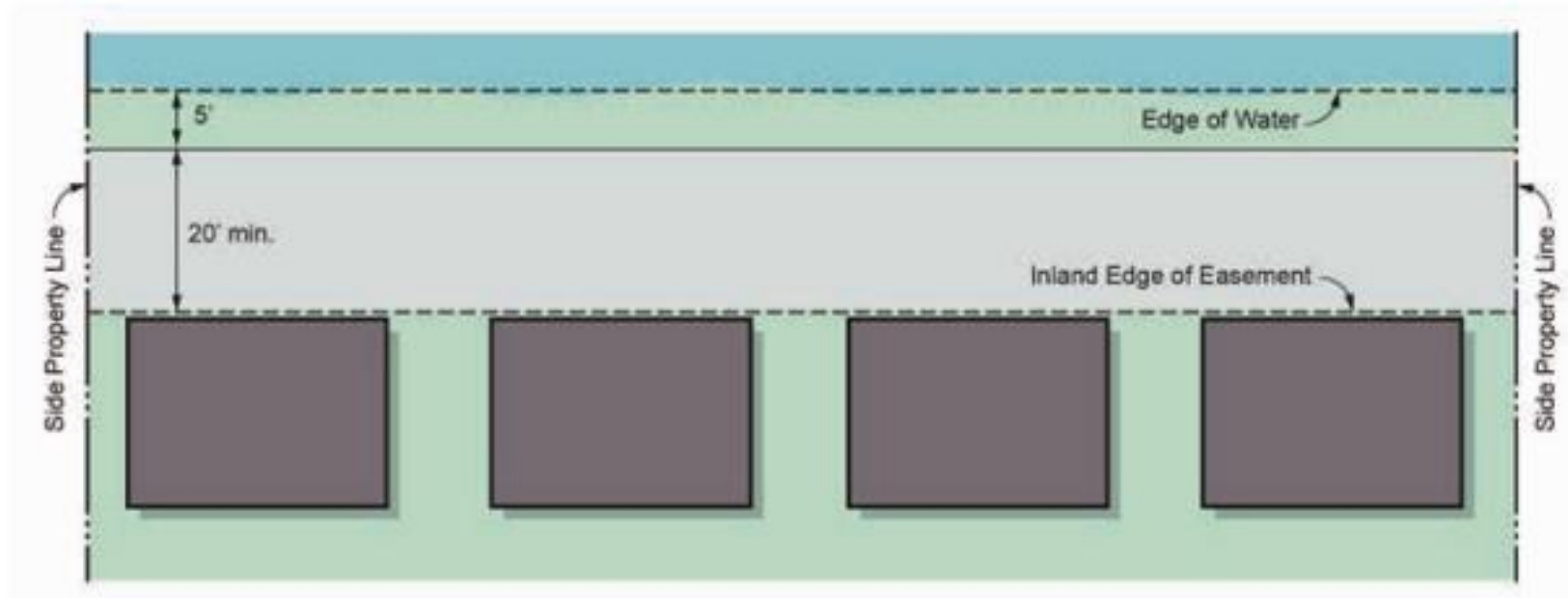
Waterfront Overlay



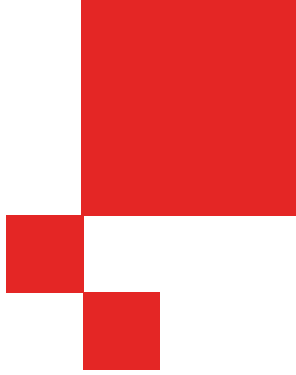
WATERFRONT PUBLIC ACCESS TYPE	BUILDING HEIGHT WITHIN 200 FEET FROM THE WATER	BUILDING HEIGHT MORE THAN 200 FEET FROM THE WATER	OTHER STRUCTURE HEIGHT	VIEWSHED REQUIREMENT
Not Provided	2 stories	4 stories	3 ft	A minimum of 60 ft wide
Waterfront Public Access Easement Provided	4 stories	6 stories	No Maximum	Not Required

Waterfront Overlay

- E. **Waterfront Public Access Pathway Design Standards.** If the property owner chooses to construct the Waterfront Public Access Pathway and provide a public access easement to the City of Holland, the pathway shall comply with the following standards.

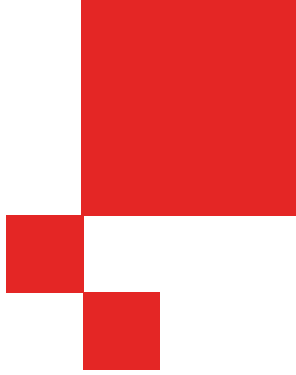
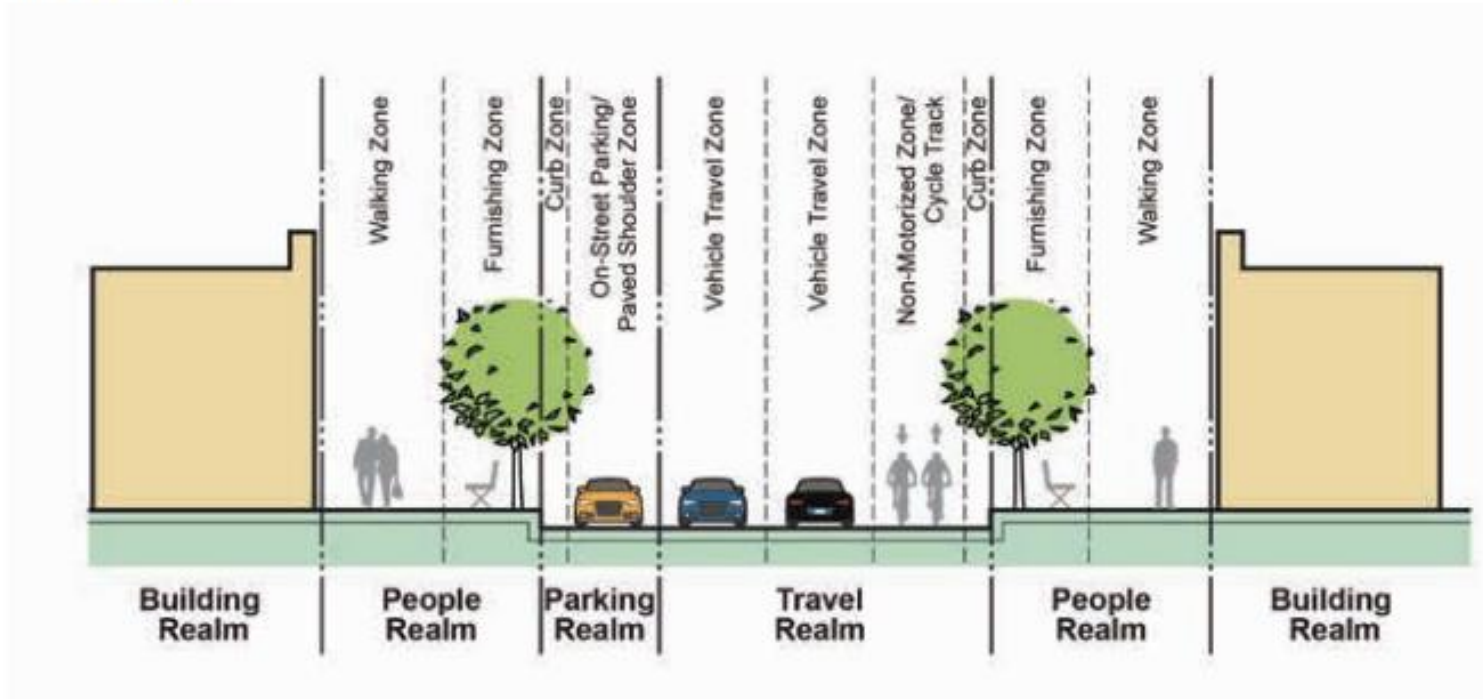


Street Design



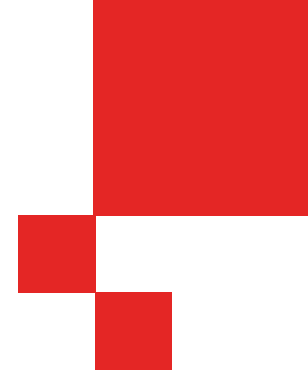
Street Design

Street Realms

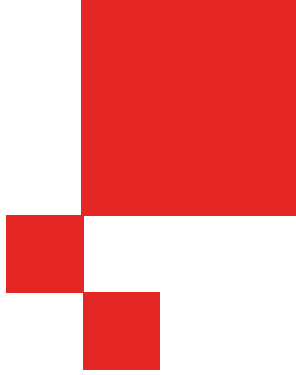


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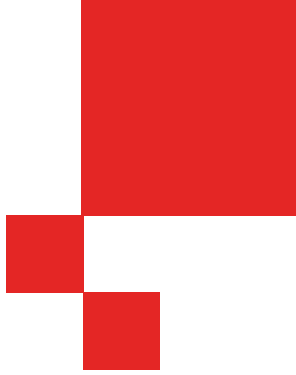
	RESIDENTIAL		COMMERCIAL, MIXED USE CORRIDOR, AND INDUSTRIAL		URBAN	
	MAJOR	LOCAL	MAJOR	LOCAL	MAJOR	LOCAL
Sidewalk Width	6 ft	6 ft	8 ft recommended 6 ft minimum	6 ft	6 ft (8 ft in F-CDT Sub-District)	6 ft (8 ft in F-CDT Sub-District)
Non-Motorized Pathway Width (Guideline)	12 ft	10 ft	12 ft	12 ft	12 ft	10 ft
Attributes	Sidewalks on both sides of all streets	Sidewalks on both sides of all streets	Sidewalks on both sides of all streets or 12-foot Non-Motorized Pathway on one side of the street	Sidewalks on both sides of all streets	Sidewalks on both sides of all streets in Business Districts, allow for sidewalk cafes and other storefront amenities	Sidewalks on both sides of all streets in Business Districts, allow for sidewalk cafes and other storefront amenities
Crosswalks	Striped Bump Outs on Higher Traffic Corridors	Striped in high traffic or high pedestrian areas	Striped and Signalized Pedestrian Refuges (Guideline)	Striped Bump Outs on Higher Traffic Corridors	Striped Bump Outs Signalized when necessary Pedestrian Refuges (Guideline)	Striped in high traffic or high pedestrian areas



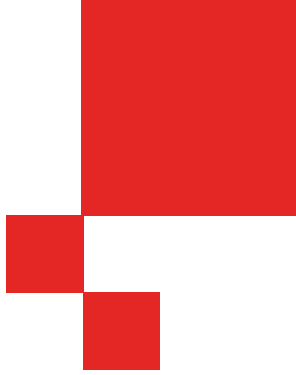
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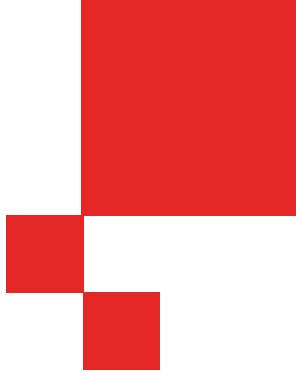


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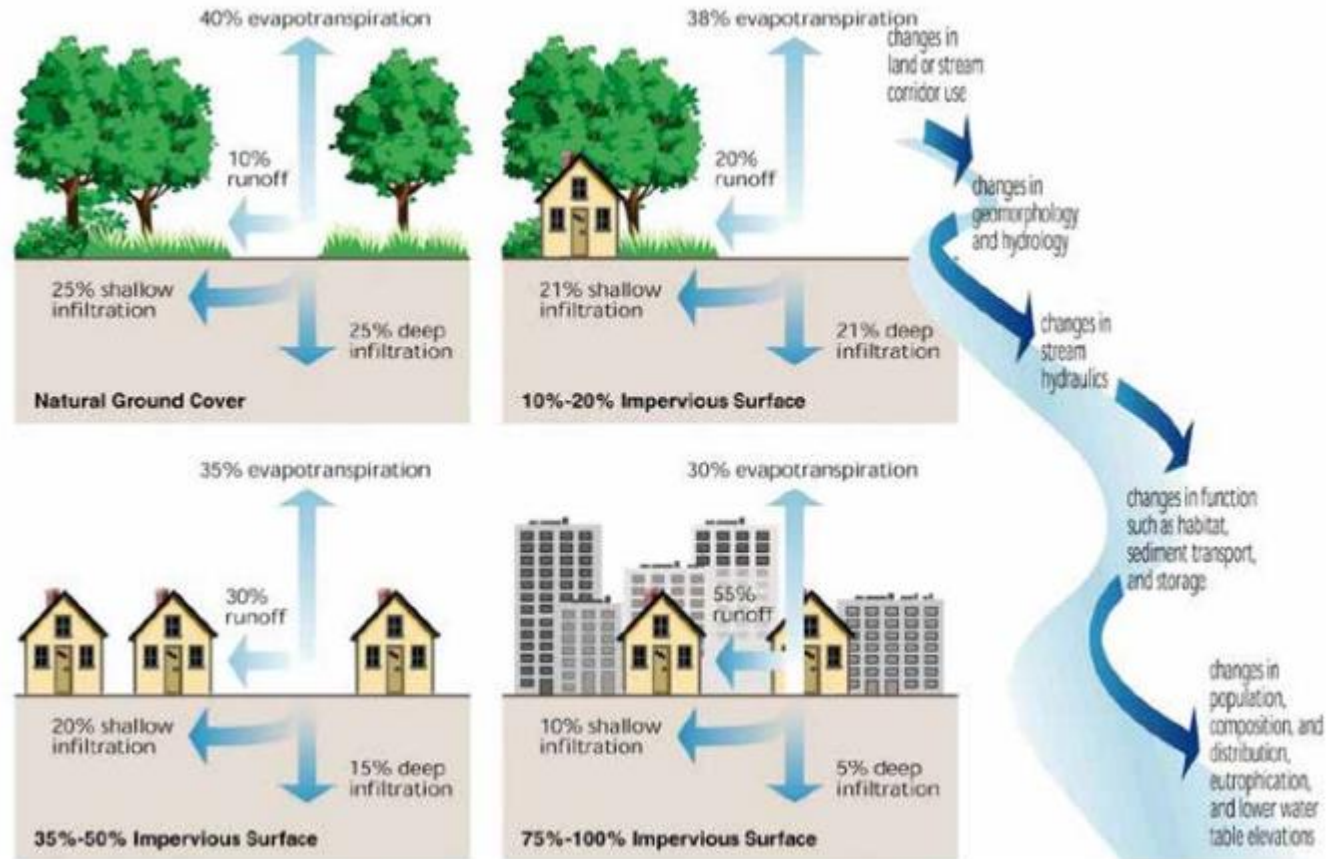
Street Design

	NEW STREET INTERSECTION DISTANCE FROM EXISTING INTERSECTIONS ^B	NUMBER OF STREET CONNECTIONS TO EXISTING STREETS (BASED ON WIDTH OF PROPERTY LINE ALONG EXISTING STREET) ^D
LDR	0 or 150 ft	1 per 300 ft
CNR	0 or 150 ft	1 per 300 ft
MDR	0 or 150 ft	1 per 300 ft
TNR	0 or 150 ft	1 per 300 ft
HDR	0 or 150 ft	1 per 300 ft
MHR	^C	^C
NMU	0 or 150 ft	1 per 300 ft
CMU	0 or 300 ft	1 per 600 ft
RMU	0 or 150 ft	1 per 300 ft
GMU ^A	0 or 150 ft	1 per 300 ft
ED	0 or 150 ft	1 per 300 ft
I	0 or 300 ft	1 per 600 ft
A	0 or 300 ft	1 per 600 ft
OS	0 or 300 ft	1 per 600 ft
F	0 or 150 ft	1 per 300 ft
PUD	Determined in PUD Agreement	Determined in PUD Agreement



Landscaping/Stormwater

Surface Infiltration Process



Source: FISRWG (10/1998). *Stream Corridor Restoration: Principles, Processes, and Practices*

Landscaping/Stormwater

Traditional Parking Lot Design



Source: Kent County Drain Commissioner

Preferred: LID Parking Lot Design



Source: Kent County Drain Commissioner

Traditional "Big Box" Site Layout

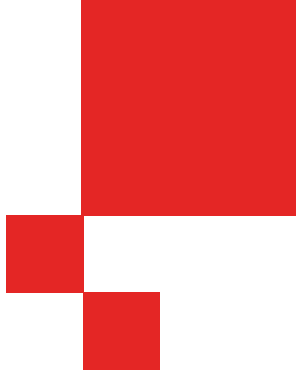


Source: Kent County Drain Commissioner

Preferred: Equivalent LID Site Layout



Source: Kent County Drain Commissioner



Landscaping/Stormwater

Do This:

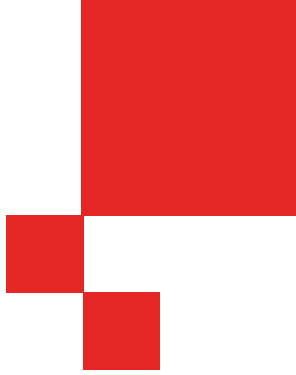


Don't Do This:



Street Tree Types:

- Columnar if close to buildings
- Maple if able to grow out for a tree canopy
- Ornamental trees where approved
- Do not use Locust trees in brick pavers

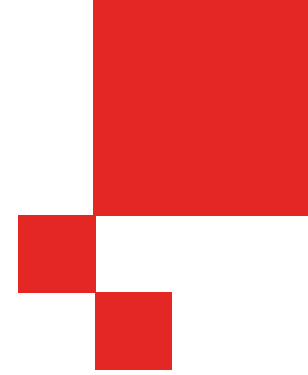


Parking



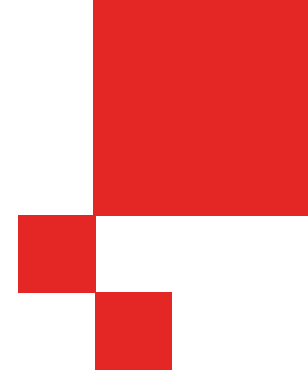
Parking

USE	APPROVAL TYPE	MINIMUM AUTO PARKING SPACES*	MINIMUM BIKE PARKING SPACES <small>SECTION 39-9.03</small>	ADDITIONAL STANDARDS (SECTION IN CHAPTER 39)		
Commercial Uses	Firearms and Archery Ranges	Special Land Use	1 per 1,000 sf	Approving Authority Determination	<u>4.04.C</u>	1 Toolbox
	Gas Stations	Special Land Use Accessory to an Industrial Use or in Non-Industrial Outlots.	1 per 300 sf of retail space, plus one per pump	Approving Authority Determination	<u>4.04.D</u>	2 Zone Districts
	Maker Space	Permitted	1 per 400 sf	Approving Authority Determination	-	3 Form Based Code
	Outdoor Sales, Outdoor Cafes, and Sidewalks Cafes	Permitted	Included with Principal Use	-	<u>4.02.K</u>	4 Add'l Use Standards
	Public Lodging	Permitted in Non-Industrial Outlots	1.1 per guest room	1 per 10 rooms, minimum 4 available to general public	<u>4.02.N</u>	5 Site Design Review Standards
	Vehicle Repair	Permitted	None	Approving Authority Determination	<u>4.02.T</u> <u>4.04.L</u>	6 Landscaping/ Green Inf.
	Vehicle Wash	Permitted	10 spaces	Approving Authority Determination	<u>4.02.U</u>	7 Lighting
	Vendor Trucks	Permitted as Accessory Use	Included with Principal Use	-	<u>4.02.V</u>	8 Signage
	Outdoor Storage and Processes	Permitted	-	-	<u>4.02.J</u>	9 General Standards
	Alternative Energy - Solar	Permitted	-	-	<u>4.02.B</u> <u>4.04.B</u>	10 Streets/ Sidewalks/ Driveways
Industrial Uses	Alternative Energy - Wind	Permitted Accessory 40 feet or less in height Special Use for principal and greater than 40ft in height	-	-	<u>4.02.B</u> <u>4.04.B</u>	11 Subdivision of Land
	Manufacturing – Low Intensity	Permitted	-	1 per 20,000 sf, minimum 4 available to general public	-	12 Processes/ Admn.
	Manufacturing – High Intensity	Special Land Use	-	1 per 20,000 sf, minimum 4 available to general public	<u>4.04.E</u>	13 Non-conformities
	Oil and Gas Drilling	Permitted	-	-	<u>4.02.I</u>	14 Definitions
	Power Plant (Not Wind or Solar)	Special Land Use	-	Approving Authority Determination	<u>4.03</u>	
	Recycling Collection Center	Permitted	5 spaces	-	<u>4.02.O</u>	



Parking

USE	APPROVAL TYPE	MINIMUM AUTO PARKING SPACES*	MINIMUM KE PARKING SPACES <small>SECTION 39-9.03</small>	ADDITIONAL STANDARDS <small>(SECTION IN CHAPTER 39)</small>		
Commercial Uses	Firearms and Archery Ranges	Special Land Use	1 per 100 sf	Approving Authority Determination	<u>4.04.C</u>	1 Toolbox
	Gas Stations	Special Land Use Accessory to an Industrial Use or in Non-Industrial Outlots.	1 per 300 sf of retail space, plus one per pump	Approving Authority Determination	<u>4.04.D</u>	2 Zone Districts
	Maker Space	Permitted	1 per 400 sf	Approving Authority Determination	-	3 Form Based Code
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Industrial Uses	Alternative Energy - Wind	Permitted Accessory 40 feet or less in height Special Use for principal and greater than 40ft in height	-	-	<u>4.02.B</u> <u>4.04.B</u>	11 Subdivision of Land
	Manufacturing – Low Intensity	Permitted	-	1 per 20,000 sf, minimum 4 available to general public	-	12 Processes/ Admin.
	Manufacturing – High Intensity	Special Land Use	-	1 per 20,000 sf, minimum 4 available to general public	<u>4.04.E</u>	13 Non- conformities
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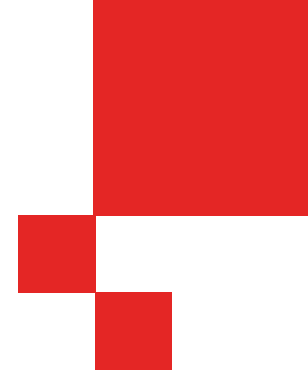
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	Alternative Energy - Solar	Permitted	-	-	<u>4.02.B</u> <u>4.04.B</u>	10 Streets/ Sidewalks/ Driveways
Industrial Uses	Alternative Energy - Wind	Permitted Accessory 40 feet or less in height Special Use for principal and greater than 40ft in height	-	-	<u>4.02.B</u> <u>4.04.B</u>	11 Subdivision of Land
	Manufacturing – Low Intensity	Permitted	-	1 per 20,000 sf, minimum 4 available to general public	-	12 Processes/ Admin.
	Manufacturing – High Intensity	Special Land Use	-	1 per 10,000 sf, minimum 4 available to general public	<u>4.04.E</u>	13 Non-conformities
	Oil and Gas Drilling	Permitted	-	-	<u>4.02.I</u>	14 Definitions
	Power Plant (Not Wind or Solar)	Special Land Use	-	Approving Authority Determination	<u>4.03</u>	
	Recycling Collection Center	Permitted	-	-	<u>4.02.O</u>	

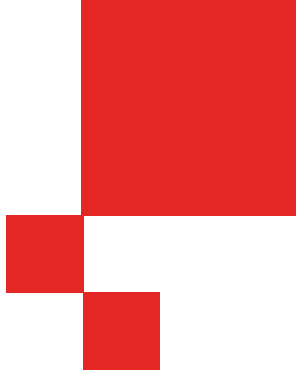


Parking

USE	APPROVAL TYPE	MINIMUM AUTO PARKING SPACES	MINIMUM KE PARKING SPACES <small>SECTION 39-9.03</small>	ADDITIONAL STANDARDS SECTION IN CHAPTER 39)		
Commercial Uses	Firearms and Archery Ranges	Special Land Use	1 per 100 sf	Approving Authority Determination	4.04.C	1 Toolbox
	Gas Stations	Special Land Use Accessory to an Industrial Use or in Non-Industrial Outlots.	1 per 300 sf of retail space, plus one per pump	Approving Authority Determination	4.04.D	2 Zone Districts
	Maker Space	Permitted	1 per 400 sf	Approving Authority Determination	-	3 Form Based Code
	Outdoor Sales, Outdoor Cafes, and Sidewalks Cafes	Permitted	Included with Principal Use	-	4.02.K	4 Add'l Use Standards
	Public Lodging	Permitted in Non-Industrial Outlots	1.1 per guest room	1 per 10 rooms, minimum 4 available to general public	4.02.N	5 Site Design Review Standards
	Vehicle Repair	Permitted	None	Approving Authority Determination	4.02.T 4.04.L	6 Landscaping/ Green Inf.
	Vehicle Wash	Permitted	10 spaces	Approving Authority Determination	4.02.U	7 Lighting
	Vendor Trucks	Permitted as Accessory Use	Included with Principal Use	-	4.02.V	8 Signage
	Outdoor Storage and Processes	Permitted	-	-	4.02.J	9 General Standards
	Alternative Energy - Solar	Permitted	-	-	4.02.B 4.04.B	10 Streets/ Sidewalks/ Driveways
Industrial Uses	Alternative Energy - Wind	Permitted Accessory 40 feet or less in height Special Use for principal and greater than 40ft in height	-	-	4.02.B 4.04.B	11 Subdivision of Land
	Manufacturing – Low Intensity	Permitted	-	1 per 20,000 sf, minimum 4 available to general public	-	12 Processes/ Admn.
	Manufacturing – High Intensity	Special Land Use	-	1 per 10,000 sf, minimum 4 available to general public	4.04.E	13 Non-conformities
	Oil and Gas Drilling	Permitted	-	-	4.02.I	14 Definitions
	Power Plant (Not Wind or Solar)	Special Land Use	-	Approving Authority Determination	4.03	
	Recycling Collection Center	Permitted	-	-	4.02.O	



Housing and Neighborhoods



Housing and Neighborhoods

SECTION 39-2.08 TRADITIONAL NEIGHBORHOOD RESIDENTIAL ZONE DISTRICT

TNR

A. **Intent:** The TNR Traditional Neighborhood Residential *Zone District* is intended for medium-high *density* of residential units. Allowing up to Four Attached *Dwelling Units* on a single property, TNR standards ensure the preservation and enhancement of the City's core, urban, historic, and walkable neighborhoods. Non-residential uses are permitted on separate properties that are deemed compatible with residential uses. The Infill Design Review process is required in this *Zone District* to ensure design continuity and character preservation.



B. TNR Dimensional Standards Table.

SETBACKS AND BUILDING HEIGHT			
	MINIMUM	MAXIMUM	
Setbacks	Front Yard	10 ft	25 ft
	Side Yard	5 ft	-
	Rear Yard	25 ft	-
	Secondary Street Yard	7 ft	25 ft
	Building Height	-	40 ft

ATTACHED GARAGE SETBACKS SECTION 39-9.04.E	
	MINIMUM
Front Yard	16 ft
Secondary Street Yard	16 ft

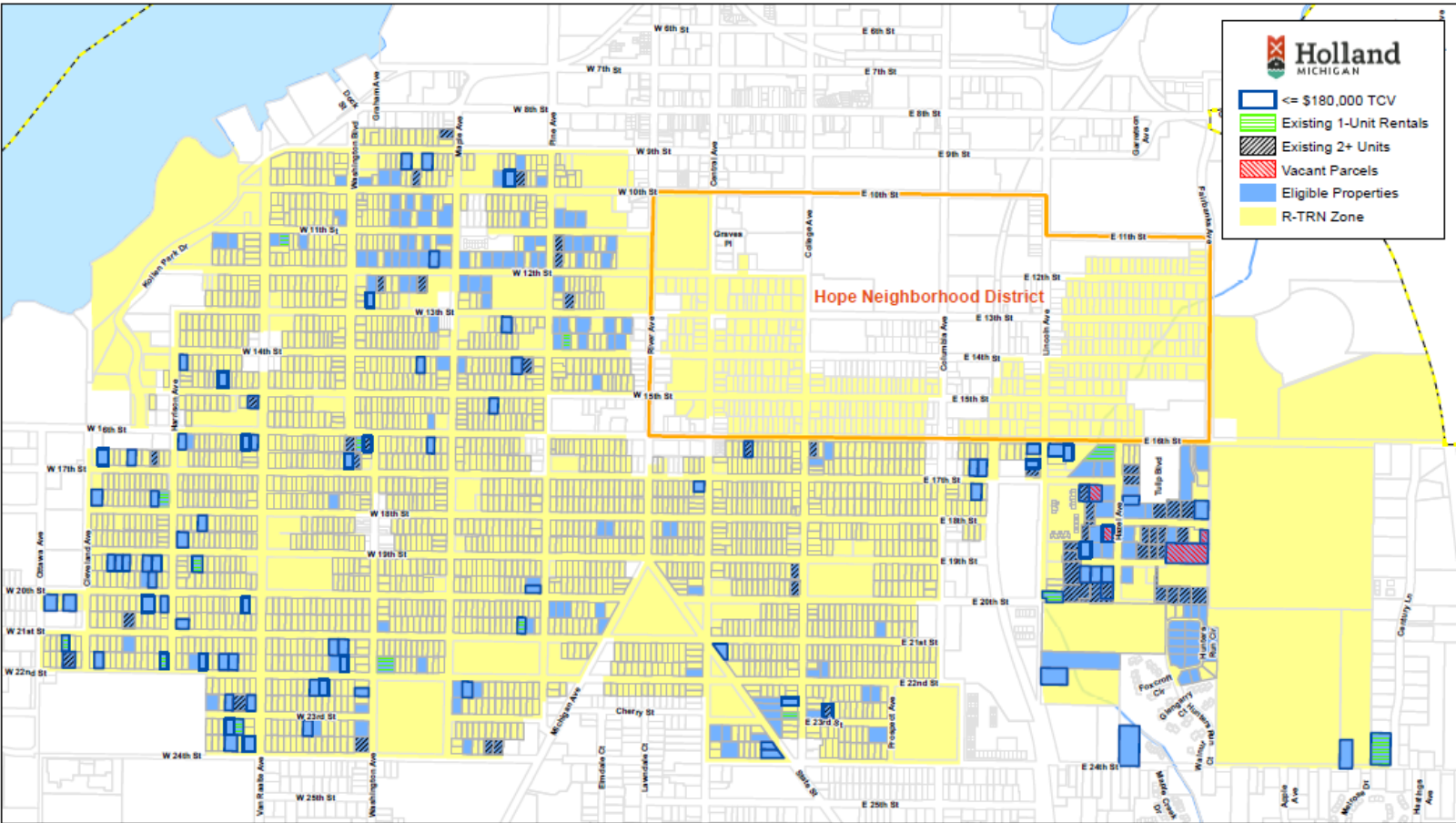
See [Section 39-9.05](#) for detached accessory structures.

LOT AREA AND WIDTH		
USE	MIN. AREA	MIN. WIDTH
1 Single Detached Dwelling Unit	5,000 sf	40 ft
1 Building with Two Attached Dwelling Units	9,600 sf	60 ft
1 Building with Three Attached Dwelling Units	14,400 sf	60 ft
1 Building with Four Attached Dwelling Units	19,200 sf	60 ft
Non-Residential	5,000 sf	40 ft

- 1 Toolbox
- 2 Zone Districts
- 3 Form Based Code
- 4 Add'l Use Standards
- 5 Site Design Review Standards
- 6 Landscaping/ Green Inf.
- 7 Lighting
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- 9 General Standards
- 10 Streets/ Sidewalk/ Driveways
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- 12 Processual Admin.
- 13 Non-conformities
- 14 Definitions

Traditional Neighborhood Residential (TNR)

R-TNR 2-Unit Option 5
7,000 sq ft min. / 60 ft width min.



Infill Design Review

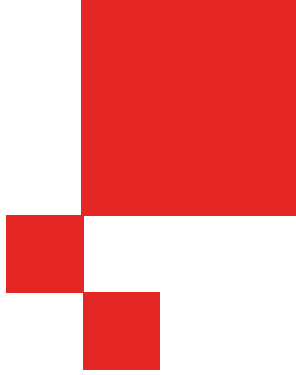


Proposed Accessory Dwelling Unit (ADU) to re-purpose historical garage, relocated to 231 W 17th St. (new owner, Belinda Coronado)

BROAD
STREET
STUDIO, Inc.

Format and Organization

- 1) **Introduction, Toolbox, and Legal Provisions**
- 2) Zone Districts
- 3) Form Based Code
- 4) Additional Use Standards
- 5) Site Design Review Standards
- 6) Landscaping and Green Infrastructure
- 7) Lighting
- 8) Signage
- 9) General Standards
- 10) Streets, Driveways, and Sidewalks
- 11) Subdivision of Land
- 12) Application Review Process and Administration
- 13) Non-Conforming
- 14) Definitions



SECTION 39-1.07 TOOLBOX

A. **Intent.** The intent of this **Toolbox Section** is to provide tools to be used to answer the most commonly asked dimensional and other *zoning* questions. While this Section is designed to be comprehensive and stand alone from a regulatory standpoint, there are cross references to more detailed information provided in *UDO*. In the event that there is a conflict between this Section and another section elsewhere in *UDO*, the other section shall govern.

B. **How do I know where I can construct a structure on my property?**

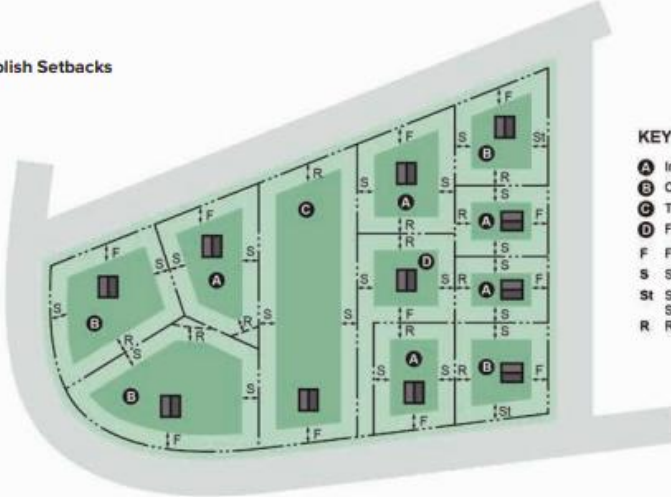
1. **Determine the Building Envelope.** The *building envelope* is the portion of any property where it is legal to construct a *structure*. The *building envelope* is defined by the required *setbacks* and the *building heights* allowed in the *Zone District*. Once the required *setbacks* and heights are determined, the area inside of the required *setback yards* is your *Building Envelope*.

C. **How do I determine what the required setbacks and heights are for my property?**



1. **Determine your Front, Side, Secondary Street, and Rear property lines.**
 - a. **Front Property Line** - the shortest *property line* running along a street, except in the TNR District (See [Section 39-1.07.C.2.b](#)).
 - b. **Secondary Street Frontage** - the longer street frontage, except in the TNR District (See [Section 39-1.07.C.2.b](#)).
 - c. **Rear Property Line** - opposite the *front property line*.
 - d. **Side Property Lines** – all other *property lines*.

Establish Setbacks

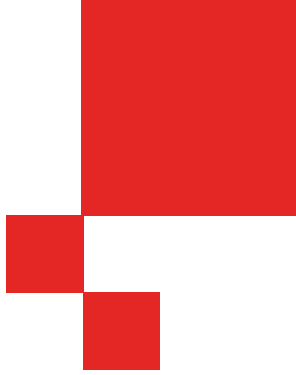


- KEY**
- A Interior Lot
 - B Corner Lot
 - C Through Lot
 - D Flag Lot
 - F Front Setback
 - S Side Setback
 - St Secondary Street Setback
 - R Rear Setback

- 1 Toolbox
- 2 Zone Districts
- 3 Form Based Code
- 4 Adff Use Standards
- 5 Site Design Review Standards
- 6 Landscaping Green Int.
- 7 Lighting
- 8 Signage
- 9 General Standards
- 10 Streets/ Sidewalk/ Driveways
- 11 Subdivision of Land
- 12 Processes/ Admin.
- 13 Non-conformities
- 14 Definitions

Format and Organization

- 1) Introduction, Toolbox, and Legal Provisions
- 2) **Zone Districts**
- 3) Form Based Code
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1	Toolbox
2	Zone Districts
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SECTION 39-2.01 INTENT

To implement *UDO's* purpose (see [Section 39-1.09](#)), this Article specifies the standards required for land uses, building placement, and automobile and bicycle parking per *Zone District* and *Form Based Code Sub-District*. The **Summary Use Table** ([Section 39-2.03](#)) specifies which land uses are permitted, permitted with restrictions, permitted with Special Land Use approval, or not permitted in each *Zone District*. [Sections 39-2.05-23](#) provide detailed **Zone District Use and Parking Standards Tables**. The **Summary Dimensional Standards Table** and specific **Zone District Dimensional Standards Tables**, also in [Sections 39-2.04-23](#), provide building placement standards to promote orderly development. See [Article 39-12](#) to determine Review Processes.

SECTION 39-2.02 ZONE DISTRICTS ESTABLISHED

The City is divided into **16 Zone Districts** and **9 Form Based Code Sub-Districts**. This Article and its tables are organized by each *Zone District*. *Form Based Code Sub-District* standards are located in [Article 39-3](#). The City of Holland's *Zone Districts* and *Sub-Districts* are:

Conventional and Mixed Use Zone Districts

- LDR Low Density Residential
- CNR Cottage Neighborhood Residential
- MDR Medium Density Residential
- TNR Traditional Neighborhood Residential
- HDR High Density Residential
- MHR *Manufactured Housing Community*
- NMU *Neighborhood Mixed Use*
- CMU *Corridor Mixed Use*
- RMU *Redevelopment Mixed Use*
- GMU *Greenfield Mixed Use*
- ED Education
- I Industrial
- A Airport
- OS Open Space
- PUD *Planned Unit Development*

F-Form Based Code Zone District and Sub-Districts

- F- CDT Central Downtown
- F- NDT North Downtown
- F- EDT East Downtown
- F- WDT Waterfront Downtown
- F- CENT Centennial
- F- RM River Michigan
- F- SIXT Sixteenth Street
- F- WASH Washington
- F- SSV South Shore Village

Overlay Districts

- Airport Overlay District
- Hope Neighborhood Overlay District
- Waterfront Overlay District

Residential Zone Districts: When UDO uses the term "residential *Zone Districts*," that means the LDR, CNR, MDR, TNR, HDR, and MHR *Zone Districts* collectively.

The maps in [Sections 39-2.05-18](#) are illustrative only. The regulatory *Zoning Map* is located in [Section 39-1.05](#).

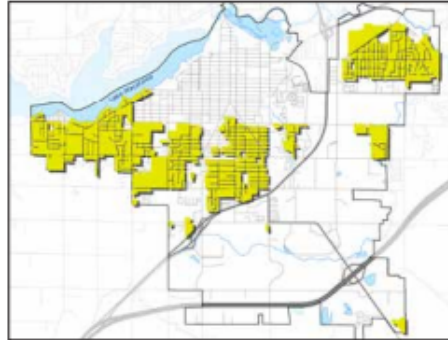


ZONE DISTRICTS: LDR, CNR, MDR, TNR, HDR, MHR							
	LDR	CNR	MDR	TNR	HDR	MHR	
Minimums	Front Yard Setback (ft)	30	20/25	25	10	10/25	<u>2.10</u>
	Side Yard Setback (ft)	7	7/20	5/20	5	20	<u>2.10</u>
	Rear Yard Setback (ft)	25	20	25	25	25	<u>2.10</u>
	Secondary Street Frontage Setback (ft)	20	10	16/20	7	10/25	<u>2.10</u>
	Building Height (ft)	-	-	-	-	-	-
	Property Area (sf)	7,000	5,000	5,000	5,000/ 9,600/ 14,400/ 19,200	-	<u>2.10</u>
	Property Width (ft)	50	50	40	40/60	-	<u>2.10</u>
Maximums	Front Yard Setback (ft)	-	-	-	25	25/75	-
	Side Yard Setback (ft)	-	-	-	-	-	-
	Rear Yard Setback (ft)	-	-	-	-	-	-
	Secondary Street Frontage Setback (ft)	-	-	-	25	25/75	-
	Building Height (ft)	35	30	35	40	45	35

SECTION 39-2.05 LOW DENSITY RESIDENTIAL ZONE DISTRICT

LDR

A. **Intent:** The LDR Low Density Residential Zone District is intended primarily for *Single Detached Dwelling Units* and detached *Accessory Dwelling Units (ADUs)*. The non-residential uses that are permitted on separate properties have been determined to be compatible with residential uses.

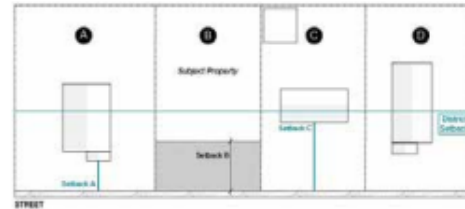


B. LDR Dimensional Standards Table.

SETBACKS AND BUILDING HEIGHT			
		MINIMUM	MAXIMUM
Setbacks	Front Yard [~]	30 ft	-
	Side Yard	7 ft	-
	Rear Yard	25 ft	-
	Secondary Street Yard	20 ft	-
Building Height		-	35 ft

LOT AREA AND WIDTH		
USE	MIN. AREA	MIN. WIDTH
1 Single Detached Dwelling	7,000 sf	50 ft
1 Accessory Dwelling Unit (ADU)	7,000 sf	50 ft
Non-Residential	7,000 sf	50 ft

[~]**Front Yard Exception:** The *front yard setback* may be reduced if the adjacent house(s) were built with a lesser *front yard setback*. The *front yard setback* shall be established by averaging the *setback* of the 2 adjacent house(s). No *setback* shall be less than 10 feet.



The average front yard setback of nearest two properties on both sides of subject property. (Setback A + Setback C ÷ 2 = Setback B)

C. LDR Use and Parking Standards Table.

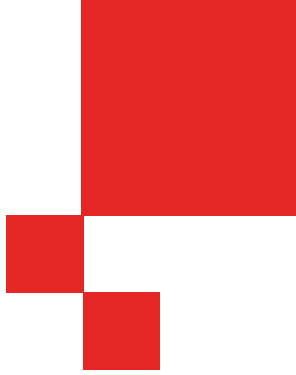
USE	APPROVAL TYPE	MINIMUM AUTO PARKING SPACES *	MINIMUM BIKE PARKING SPACES SECTION 39-9.03	ADDITIONAL STANDARDS (SECTION IN CHAPTER 39)
1 Single Detached Dwelling Unit	Permitted	1 per dwelling unit	-	<u>9.04</u>
1 Accessory Dwelling Unit (ADU)	Permitted	1 per dwelling unit	-	<u>9.07</u>

- 1 Toolbox
- 2 Zone Districts
- 3 Form Based Code
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- 11 Subdivision of Land
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Format and Organization

- 1) Introduction, Toolbox, and Legal Provisions
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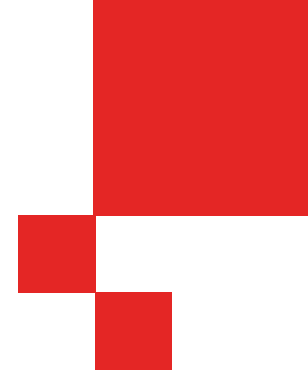


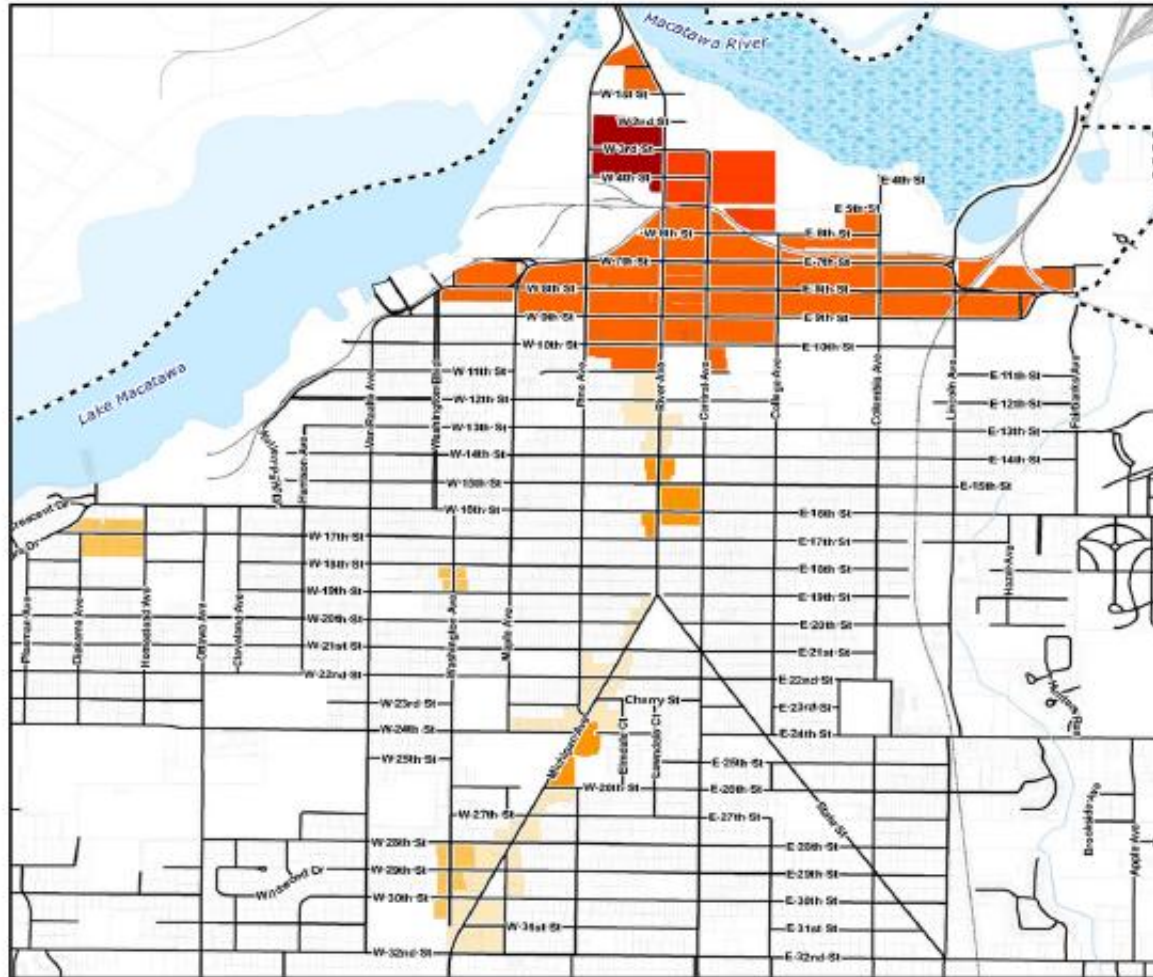
SECTION 39-3.02 SUB-DISTRICTS

The *Form Based Code* District is divided into 9 *Sub-Districts*, as described below.

	SUB-DISTRICT
	<p>CDT Central Downtown:</p> <p>The intent of the CDT Sub-District is to protect and preserve the historic character and charm of Downtown Holland, while allowing for new investment. The regulations are designed to ensure that new buildings are complementary with the existing urban fabric of the Downtown.</p> <p>Developers for properties located in the Downtown Holland National Historic District shall be required to meet with the Historic Preservation Planner and Senior Planner prior to Site Plan application submittal. See Section 39-12.07.D.6.f.1 for the map.</p>
	<p>NDT North Downtown:</p> <p>The intent of the NDT Sub-District is to enable the expansion of Holland's existing mixed use and walkable Downtown north to seamlessly provide connections, and to focus on potential redevelopment of properties, especially as multifamily residential.</p>
	<p>EDT East Downtown:</p> <p>The intent of the EDT Sub-District is to encourage the redevelopment of the 8th Street corridor east of Downtown Holland into a walkable and attractive area that both complements the existing Downtown and considers the different context by allowing additional building types, frontage types, and larger setbacks.</p>
	<p>WDT Waterfront Downtown:</p> <p>The intent of the WDT Sub-District is to guide future development along Holland's waterfront that connects to NDT and CDT, creating a cohesive, mixed use, walkable, waterfront district within a vibrant Downtown.</p>

1	Toolbox
2	Zone Districts
3	Form Based Code
4	Add'l Use Standards
5	Site Design Review Standards
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F - Form Based Code Sub-District Regulating Map

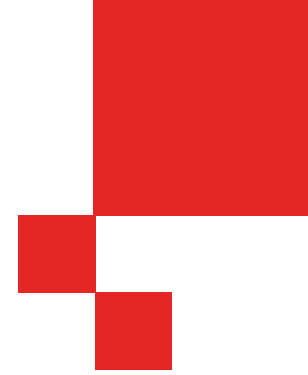
Building Height Maximums

City of Holland, Michigan





March 23, 2021

Legend

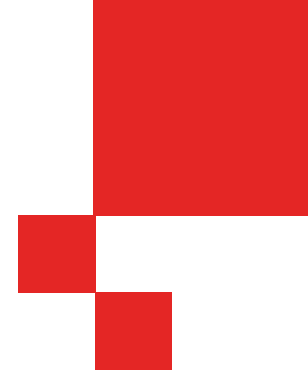
- *See Section 2.22
- 2 Stories
- 3 Stories
- 4 Stories
- 6 Stories
- 9 Stories
- 12 Stories
- Water
- Marsh



SECTION 39-3.05 BUILDING TYPES OVERVIEW

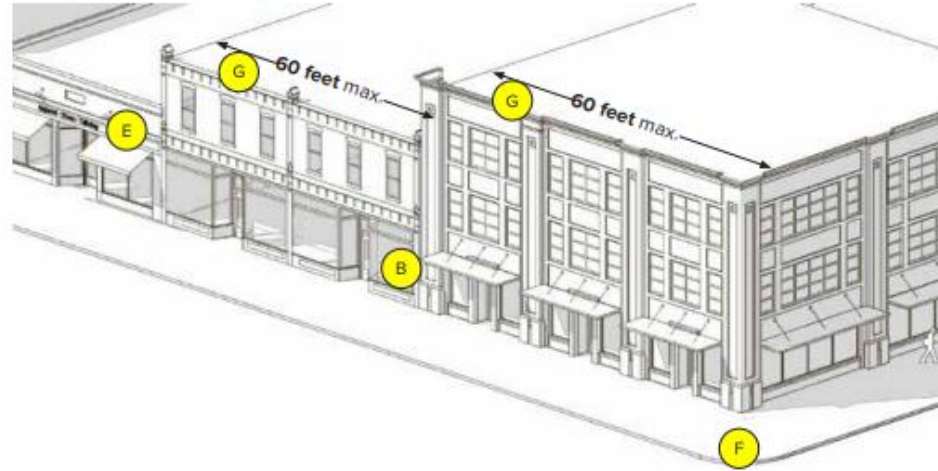
BUILDING TYPES	REQUIREMENTS	SUB-DISTRICTS PERMITTED		
Mixed Use 	<ul style="list-style-type: none"> Be more than 1 <i>story</i>. Have a commercial first <i>story</i> of at least 16 ft clear height, with an entrance facing the front street. The commercial first <i>story</i> may be designated for other uses, but shall be designed to accommodate a commercial use. Have upper <i>stories</i> designed for residential or commercial uses. Any combination of building types not listed as permitted in another building type shall be considered a mixed use building. 	CDT	NDT	EDT
		WDT	CENT	SIXT
		RM	WASH	SSV
Commercial 	<ul style="list-style-type: none"> First <i>story</i> shall be a minimum of 16 ft in height. Be designed for a commercial use. Not include any residential units. 	CDT	NDT	EDT
		WDT	CENT	SIXT
		RM	WASH	SSV
Multifamily (5+ units) 	<ul style="list-style-type: none"> Have 5 or more attached residential units, sharing interior hallways and exterior entrances. Not include commercial or other non-residential uses, except for amenities for the residents. 	NDT	EDT	WDT
		CENT	RM	WASH
Multifamily (2-4 units) 	<ul style="list-style-type: none"> Contain 2, 3, or 4 attached residential units, which may or may not share interior hallways and external entrances. Have no commercial or other non-residential uses, except for amenities or common space for the residents. 	EDT	RM	WASH

1	Toolbox
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SECTION 39-3.12 FRONTAGE TYPE STANDARDS

Shopfront Frontage



FRONTAGE TYPE

- A. Designed to accommodate *retail* or *commercial* uses.

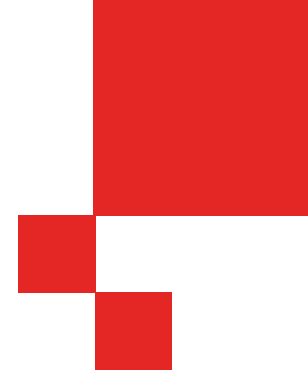
REQUIREMENTS

- B. Shall be constructed with a minimum of **60%** transparent glass between **2 feet** and **10 feet** above *grade* at the sidewalk.
- C. Shall include a main entrance recessed a minimum of **3 feet** from the *property line* along the *front street*.
- D. The entrance recession may exceed the maximum setback requirement by up to **3 feet**.

DESIGN STANDARDS

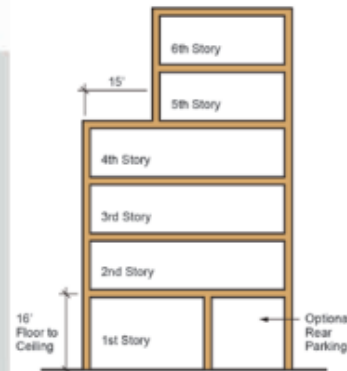
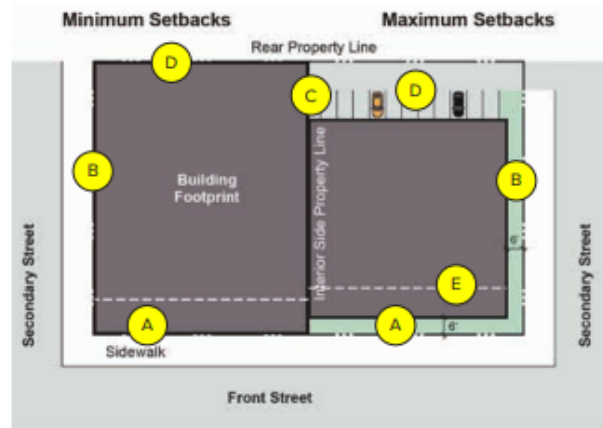
- E. *Sign bands* shall be **24 inches to 36 inches in height**, centered immediately above the *ground story windows* and extend for a minimum of **80%** of the *façade*. See [Article 39-8](#).
- F. Shall include a continuous public sidewalk extending along all plate glass at the *ground story*.
- G. If more than 60 feet wide, shall be required to have **at least one entrance per 60 feet of frontage**, and must have a *parapet* or *roofline* at the top of the *building* that extends to a different height at least every 60 feet.

1	Toolbox
2	Zone Districts
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SECTION 39-3.14 BUILDING ENVELOPE STANDARDS

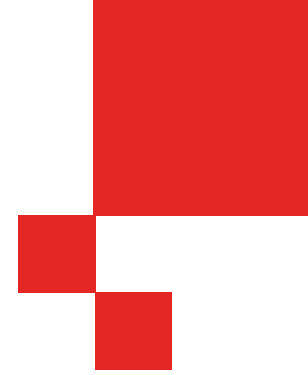
CDT: Central Downtown



A FRONT STREET SETBACK (FIRST FLOOR)	
MINIMUM:	0 feet
MAXIMUM:	6 feet
B SECONDARY STREET SETBACK (FIRST FLOOR)	
MINIMUM:	0 feet
MAXIMUM:	6 feet
C INTERIOR SIDE SETBACK (FIRST FLOOR)	
OPTION 1:	Min. 0 feet, max. 0 feet
	Exception: If adjacent to LDR, MDR, or TNR Zone Districts:
	<ul style="list-style-type: none"> 10 foot setback, with 6 foot high solid fence along property line.
OPTION 2: PUBLIC THROUGH PATHWAY	15 foot side setback permitted if: <ul style="list-style-type: none"> Side property line is a minimum of 150 feet from any intersection or existing property line that has chosen Option 2. Shall have an unobstructed pathway of at least 8 feet in width running the entire length of the setback. Shall be open and available to the public, and have public amenities such as seating, fountains, landscaping and/or public art. Outdoor dining for restaurants is also encouraged. The property owner shall dedicate a public access easement to the City.

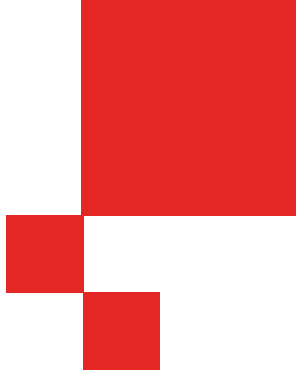
D REAR SETBACK (FIRST FLOOR)	
MINIMUM:	0 feet
MAXIMUM:	No maximum
E UPPER STORY STEP BACK	
REQUIRED AFTER 4 TH STORY	15 foot minimum step back from first story building line on the front street; or, 6% of building depth, whichever is less
BUILDING HEIGHT	
MINIMUM:	2 stories
MAXIMUM:	6 stories

1	Toolbox
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5	Site Design Review Standards
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7	Lighting
8	Signage
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SECTION 39-7.02 APPLICABILITY

A. The provisions of this Section shall apply to all properties requiring *Site Plan* approval.

Prohibited

Fixtures that produce glare and light trespass



Limited

Decorative fixtures shall be permitted if the light trespass is 18% or less.



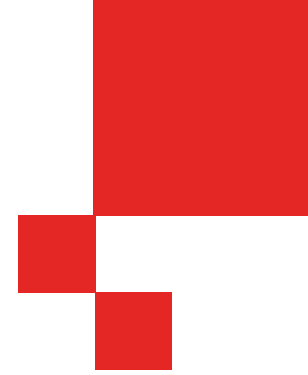
Permitted

Fixtures that shield the light source to minimize glare and light trespass and to facilitate better vision at night



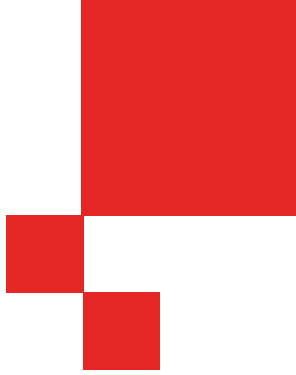
This graphic is meant to be illustrative and is not regulatory in and of itself.

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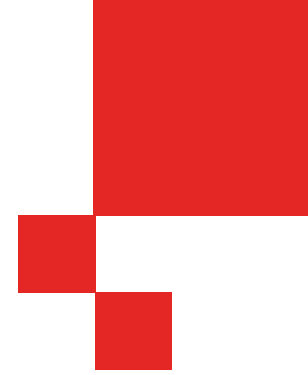
SECTION 39-8.04 SIGNS ALLOWED WITH A PERMIT

See [Article 39-14](#) for definitions of sign types.

ZONE DISTRICTS: F-CDT, F-NDT, F-EDT, F-WDT, F-CENT					
Regulation	WALL SIGN A B C	FREESTANDING SIGN C	PROJECTING SIGN	AWNING/CANOPY/ MARQUEE D	TEMPORARY FREESTANDING SIGN E
Examples					
Maximum Height	Signs shall be placed below the 2nd floor windowsill, unless waived by the DRB. See Section 39-8.08 .	6 ft	Signs shall be placed below the 2nd floor windowsill, unless waived by the DRB. See Section 39-8.08 .	Signs shall be placed below the 2nd floor windowsill, unless waived by the DRB. See Section 39-8.08 .	48 in
Maximum Size	1 sf per linear foot of building width, up to 32 sf per sign	32 sf	6 sf	2 sf per linear foot of building width	30 in deep, 30 in wide
Maximum Number	1 per business, per street or parking frontage	1 per property	1 per business per street frontage; no more than 1 per 25 feet of building width	1 per face of the awning, canopy, or marquee	1 per business
Minimum Setback	N/A	The principal building setback in the Zone District. See Section 39-3.13 .	Projecting signs that extend over the public right-of-way shall comply with Section 39-8.10 B . Projecting signs shall not project more than 36 in from the face of a building or wall	Awnings, canopies, marquees, and projecting signs that extend over the public right-of-way shall comply with Section 39-8.10 B .	Shall be within 1 ft of the building. Shall leave at least 6 ft of unobstructed sidewalk.
Diagram					

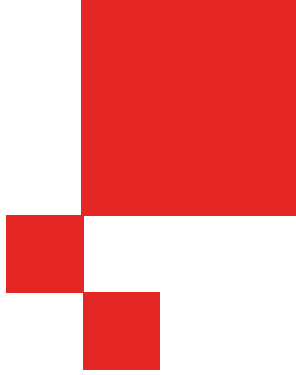
- A Wall signs shall be contained within the boundaries of the wall and shall not extend beyond the edge of the wall, nor above the roof line of a building.
- B For wall signs, the distance between the face of the wall and the face of the sign shall not be more than 12 in. If the distance is greater than 12 in, the sign shall be considered a projecting sign.
- C Reader boards are allowed on a wall or a freestanding sign, but not on both signs at one property.
- D Signs shall be affixed flat to the face of the awning or canopy.
- E Temporary movable freestanding signs shall be subject to the requirements of [Section 39-8.07](#).
- F Signs in a PUD Zone District will be allowed using the standards of this chart. See [Section 39-8.02](#).

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- f. Be located within the required **Side** or **Rear Yard setbacks** provided the facility is a minimum of **3 feet** from the *property line*.
- g. **Design Standards.** Shall meet the design standards specified in [Section 39-9.03.C.1.a-1](#).
- h. **Bicycle Racks.** The design of bicycle racks shall follow the standards specified in [Section 39-9.03.C.1.h](#)
- i. **Examples of Long Term Covered Bicycle Parking.**



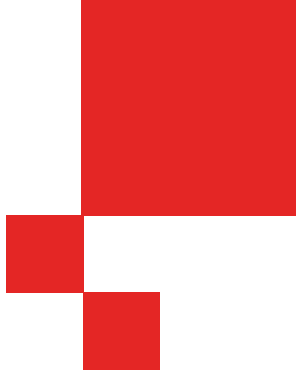
Source: Association of Pedestrian and Bicycle Professionals



j. **Examples of Long Term Covered Bicycle Parking Not Permitted.**

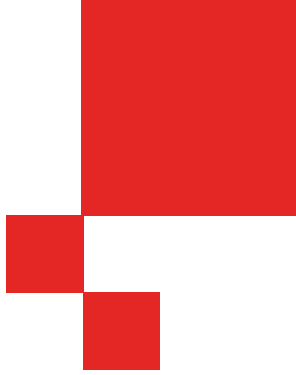


- D. **Bicycle Parking Space Standards:** Bicycle parking spaces in Bicycle Parking Facilities shall be provided in accordance with this Table. **A minimum of 4 public bicycle spaces shall be provided for all uses.** See [Article 39-2 Use and Parking Tables](#) for the bicycle parking space standards per use and Zone District.



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SECTION 39-12.01 INTENT

- A. This Article establishes the processes used for the review of *development* applications.
- How to use this Article:**
- Determine the **Review Process** required per application type from the table in [Section 39-12.02](#).
 - Learn about the **Approving Authorities** for each review process in [Section 39-12.03](#).
 - Zoning Permits Review Process:** See [Section 39-12.04](#).
 - For All Other Review Processes:** General Review Process requirements in [Section 39-12.05](#).
 - Administrative Review Process:** [Section 39-12.06](#).
 - Planning Commission Review Process:** See [Section 39-12.07](#). **Special Land Use Review Process:** [Section 39-12.08](#).
 - Determine the application materials and Site Plan components** required per review process from the tables in [Section 39-12.09](#).
 - For application types requiring **City Council or Board of Appeals Review**, see [Section 39-12.10](#) and [Section 39-12.12](#) respectively.
 - Post-Site Plan Approval requirements.** See [Section 39-12.11](#).
 - Violations Information:** See [Section 39-12.13](#).

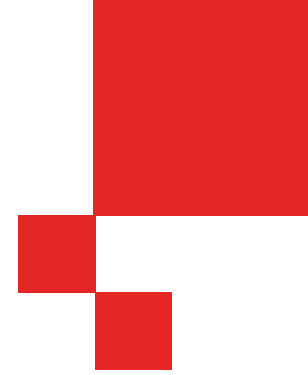
SECTION 39-12.02 REVIEW PROCESSES AND APPROVING AUTHORITIES TABLES

ALL ZONE DISTRICTS						
APPLICATION TYPE	ZONING ADMINISTRATOR/ ZONING PERMIT	ADMINISTRATIVE REVIEW STAFF	PLANNING COMMISSION	CITY COUNCIL	BOARD OF APPEALS	OTHER REQUIRED APPROVAL
Site Improvements with no structural changes	Final Determination	-	-	-	-	-
Accessory Structures (other than in PUD, A, & F Zone Districts)	Final Determination	-	-	-	-	HDC Approval in Historic Districts
Signs (other than in PUD, A, & F Zone Districts)	Final Determination	-	-	-	-	HDC Approval in Historic Districts
Fences (other than in PUD, A, & F Zone Districts)	Final Determination	-	-	-	-	HDC Approval in Historic Districts
Outdoor Cafes where restaurant uses are allowed (Private Property)	Final Determination	-	-	-	-	DRB Review for F Sub-Districts Downtown





		PLANNING COMMISSION REVIEW	ADMINISTRATIVE REVIEW	REFERENCE IF APPLICABLE (SECTION IN CHAPTER 39)
1 Toolbox				
2 Zone Districts	Public Outreach Summary Report	Required, if applicable	Not Applicable	12.07.C.6.d
	Traffic Study	Required, if applicable	Required, if applicable	10.02.F
3 Form Based Code	Pre-Application Concept Plan (Framework Meeting)	Required	May be requested	12.07.C.6.a
4 Add'l Use Standards	Pre-Application Basic Engineered Plan (Administrative Review Team Meeting)	Required	Required	12.05.B
Site Plan Components Required				
Basic Site Plan Information				
5 Site Design Review Standards	2 Folded, Full Site Plan Hardcopies and Electronic Copy (smaller or larger sizes shall not be accepted)	Required	Required	–
6 Landscaping/ Green Inf.	Scale Engineer Scale Minimum 1 Inch = 20 feet	Required	Required	–
	Legend & North Arrow on Cover Sheet	Required	Required	–
7 Lighting	Property Address on Cover Sheet	Required	Required	–
	Site Plan Sheets Required in this Order			
Introductory Site Plan Sheets				
8 Signage	Cover Sheet with scaled Location Map	Required	Required	–
	Survey	Required	Required	–
9 General Standards	Demolition & Removal - All site features including structures, pavement, landscaping, etc.	Required	Required	–
Civil Site Plan Sheet				
10 Streets/ Sidewalks/ Driveways	Structures: Existing, proposed, and future structures clearly delineated and marked with Gross Floor Area	Required	Required	–
11 Subdivision of Land	Square Footage of Propety and Structures, percentage of impervious / pervious pavement	Required	Required	Article 39-2 Article 39-6
	Property lines, setbacks, streets, sidewalks, driveways - Delineation & Dimensions	Required	Required	Article 39-2 Article 39-9
12 Processes/ Admin.	Driveways & Curb Cuts - Delineation & Dimensions	Required	Required	Article 39-5 Article 39-10
	Parking Spaces and Drive Aisles - Delineation & Dimensions	Required	Required	Article 39-2 9.02
13 Non-conformities	Loading / Unloading Areas	Required, if applicable	Required, if applicable	9.02
14 Definitions	Bicycle Parking Spaces - Delineation & Dimensions	Required	Required	9.03







Thank you!

Questions?